



# Staff Report

PLANNING DIVISION  
COMMUNITY & ECONOMIC DEVELOPMENT

To: Salt Lake City Planning Commission

From: Michael Maloy, AICP, Senior Planner  
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Brian Smith, Intern  
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Date: November 12, 2014

Re: PLNSUB2014-00570 Ball Park Apartments Planned Development

## Planned Development

**PROPERTY ADDRESS:** 1380 S West Temple Street  
**PARCEL ID:** 15-13-227-006-0000  
**MASTER PLAN:** Medium Density Transit Oriented Development, Central Community Master Plan  
**ZONING DISTRICT:** R-MU Residential/Mixed Use District

### REQUEST:

A request by Rusty Snow, in behalf of Summit Housing GrOp, for approval of planned development petition PLNSUB2014-00570 to construct a new multi-family building comprised of 62 dwelling units and 36 parking stalls located at 1380 S West Temple Street. The purpose for the planned development petition is to reduce the rear yard setback from 30'-0" to 0'-0" (see Attachment F – Applicant Information).

### RECOMMENDATION:

Based on the findings listed in the staff report, plans presented, and testimony heard, I motion the Planning Commission approve planned development petition PLNSUB2014-00570 to reduce the rear yard setback from 30'-0" to 0'-0" for an affordable senior housing project comprised of 62 dwelling units at 1380 S West Temple Street subject to the following conditions:

1. Prior to building permit approval, petition shall be amended to satisfy all applicable or unresolved comments contained within Attachment J – Department Comments, which includes compliance with applicable fire protection regulations.
2. Prior to building permit approval, applicant shall submit to the Planning Division revisions to the north and east building elevations to resolve comments provided October 21, 2014, by Molly Robinson, Salt Lake City Urban Designer. To mitigate the harsh, plain qualities of the cast-in-place concrete walls on the first floor, the applicant is encouraged to provide additional landscaping (i.e. crawling ivy) or other treatment (i.e. wall murals) where feasible.
3. Prior to building permit approval, applicant shall submit a final signage plan to the Planning Division. Signage shall meet all applicable Zoning regulations, which includes pedestrian and mass transit orientation.
4. Prior to building permit approval, applicant shall submit to the Planning Division a comprehensive exterior lighting plan, including fixture specifications. To achieve "a more enhanced product" as required by Section 21A.55.010 of City Code, lighting plan shall avoid light glare and light pollution, and design of lighting fixtures must compliment building architecture. Use of low level lighting to accent building architecture and landscaping is encouraged.
5. Final approval authority shall be granted to the Planning Director based on the applicant's compliance with the above noted standards and conditions.

**ATTACHMENTS:**

- A. Vicinity Map
- B. Site Plan & Parking Calculation
- C. Landscape Plans
- D. Elevations & Renderings
- E. Floor Plans
- F. Applicant Information
- G. Existing Conditions
- H. Analysis of Standards
- I. Public Process & Comments
- J. Department Comments
- K. Motions

**PROJECT DESCRIPTION:**

On August 28, 2014, the applicant submitted a request for approval of planned development petition PLNSUB2014-00570 to reduce the rear yard setback from 30'-0" to 0'-0" in order to construct a 6 story, 62-unit apartment building for seniors (age 55 and over) at 1380 S West Temple Street (see Attachment D – Elevations & Renderings, Attachment E – Floor Plans, and Attachment F – Applicant Information). If approved, the development will qualify for tax credits to provide affordable housing. The subject property, which is located immediately west of Smith’s Ballpark, is within the Ball Park Community Council area (see Attachment A – Vicinity Map).

The subject property is zoned R-MU Residential/Mixed Use District, which requires the following:

| R-MU District Standards                                                                                                                                                                                                                                              | Finding       | Rationale                                                                                                                                                                                                                                                                     |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| No minimum lot area for multi-family dwellings                                                                                                                                                                                                                       | Compliant     | Lot area is approximately 0.36 of an acre (15,681 square feet)                                                                                                                                                                                                                |
| No minimum lot width is required                                                                                                                                                                                                                                     | Compliant     | Lot width is approximately 122 feet                                                                                                                                                                                                                                           |
| Minimum front yard setback is 0 feet                                                                                                                                                                                                                                 | Compliant     | Front yard setback is 0 feet                                                                                                                                                                                                                                                  |
| Minimum corner side yard setback is 0 feet                                                                                                                                                                                                                           | Compliant     | Corner side yard setback is 0 feet                                                                                                                                                                                                                                            |
| Minimum interior side yard setback is 0 feet                                                                                                                                                                                                                         | Compliant     | Interior side yard setback is 0 feet                                                                                                                                                                                                                                          |
| Minimum rear yard setback is twenty-five percent (25%) of the lot depth, but need not be more than thirty feet (30') maximum                                                                                                                                         | Not compliant | If approved, the proposed planned development will reduce the rear yard setback to 0 feet                                                                                                                                                                                     |
| Maximum building height is 75 feet                                                                                                                                                                                                                                   | Compliant     | Proposed building will be approximately 74 feet tall                                                                                                                                                                                                                          |
| Minimum open space requirement for residential uses (and mixed uses containing residential uses) is twenty percent (20%) of the lot area. This space may take the form of landscaped yards or plazas, balconies and courtyards, subject to site plan review approval | Compliant     | Proposed development will provide 4,503 square feet—or 28.7% of the lot area—of rooftop gardens and open space, which satisfies this requirement                                                                                                                              |
| Landscaped yards: All front and corner side yards provided, up to fifteen feet (15') in depth, shall be maintained as a landscape yard in conformance with chapter 21A.48, "Landscaping and Buffers", of this title                                                  | Compliant     | The proposed development does not include any landscaping on private property within the front or corner side yards, however landscaping is being provided on public property along West Temple between the property line and the street (see Attachment C – Landscape Plans) |

The subject property is a corner parcel accessible by pedestrians and vehicles from West Temple Street, which borders the subject property on the east, and from Albermarle Avenue, a narrow east-west street that borders the subject property on the north. The subject property is also accessible from a public alley that is adjacent to the west or rear property line. The alley extends northward from Albermarle Avenue to 1300 South Street and southward to 1400 South (see Attachment A – Vicinity Map).

The applicant intends to provide 36 off-street parking stalls; 33 of which are enclosed within a garage located on the first floor of the building, while 3 stalls—1 of which is accessible—are partially enclosed by the building adjacent to the northeast corner of the development. According to calculations provided by the applicant, the minimum parking requirement is 34 stalls. In addition to the off-street parking, the site plan identifies three parallel stalls on West Temple Street adjacent to the development (see Attachment B – Site Plan and Parking Calculation).

**PROJECT BACKGROUND:**

On September 20, 2012, Salt Lake City Associate City Planner Daniel Echeverria published a “zoning confirmation” letter (petition PLNZAD2012-00631) for property located at 1374 and 1380 S West Temple, which declared (in addition to other findings) that the property is 1) zoned R-MU Residential/Mixed Use District, 2) there are “no density limitations for multifamily dwellings,” and 3) there were no “unresolved zoning or building code violations.”

On April 10, 2013, Salt Lake City Planning Director published a memorandum that asked Salt Lake City Mayor Ralph Becker to initiate a petition (number PLNPCM2013-00291) to amend the Zoning Title to address, among the other items, the following:

“The RMU Residential/Mixed Use District contains conflicting regulations. One regulation states that for multi-family residential uses, a rear yard is required (25% of lot depth up to a max. of 30 feet) while another section says no yards are required. The proposal would clarify that a rear yard is required.”

On September 25, 2013, Salt Lake City Senior Planner Everett Joyce published a zoning “verification letter” (petition PLNZAD2013-00798) that confirmed the property is zoned R-MU Residential/Mixed Use District and stated that the rear yard setback—unless exempted by City Code—is “twenty five percent (25%) of lot depth or thirty feet (30’), whichever is less.”

On November 7, 2013, a request to approve a Minor Subdivision Application to consolidate multiple parcels into one, which created the subject property, was submitted to the City by SNT Enterprises and assigned petition number PLNSUB2013-00927.

In a letter dated November 8, 2013, Sattar Tabriz, President of SNT Enterprises LC, informed Salt Lake City Mayor Ralph Becker that the purpose for the subdivision petition is to develop a “new structure” that will be “a mixed use five story apartment complex.” Neither subdivision petition nor letter included a site plan, building elevation, floor plan, or other illustrations of future development.

On January 9, 2014, Joel Paterson, acting in the capacity of Salt Lake City Administrative Hearing Officer, granted preliminary approval of the minor subdivision petition.

On January 22, 2014, Wilson Moulton and representatives from Ward Engineering attended a Development Review Team meeting hosted by the City. According to meeting notes provided by Ken Brown, Salt Lake City Senior Development Review Planner, and subsequently delivered to representatives of the property owner and the developer, meeting attendees were informed that, “As currently written, the Exemptions of 21A.24.170.E.6 eliminate the rear yard setback requirement of 21A.24.170.E.3 & 4; however, this section is under review and could possibly change in the near future.” Although the applicant questions the accuracy of this statement, this

comment was entered into Accela, Salt Lake City's electronic database program, on January 22, 2014, and once entered cannot be amended or deleted by City staff or management.

On March 14, 2014, a Final Plat Application for the subject property was submitted by SNT Enterprises LC to the Salt Lake City Planning Division and assigned petition number PLNSUB2014-00148. And on May 23, 2014, the final subdivision plat entitled "Park Field Subdivision" was accepted and recorded by the Salt Lake County Recorder.

On May 30, 2014, the Salt Lake City Recorder published Bill No. 20 of 2014, which removed from the Zoning Title an exemption from the minimum rear yard requirement for multi-family structures in the R-MU Residential/Mixed Use District. Because of the zoning amendment, the minimum rear yard requirement for a multi-family structure in the R-MU Residential/Mixed Use District is, "Twenty five percent (25%) of lot depth, but need not exceed thirty feet (30')." (City Code 21A.24.170.E.3.d).

On June 18, 2014, Jack Jenks, President of Summit Management Group, submitted building permit application number BLD2014-04272 to Salt Lake City Building Services for an affordable senior housing development containing 62 dwelling units, 36 parking stalls, and no rear yard.

On July 11, 2014, Alan Michelsen, Salt Lake City Development Review Planner II, informed Bryce Moulton, (former) project architect, that "As per section 21A.24.170.E.3.d and section 21A.24.170.E.6 (amended 5/20/14) a 30 feet rear yard building setback is required."

On August 5, 2014, Jack Jenks submitted an e-mail to Paul Nielson, Salt Lake City Senior Attorney, claiming that Section 21A.02.060.B of Salt Lake City Code vested the proposed Ball Park Apartments with the right to develop under City Code effective November 7, 2013—the date of submittal for preliminary subdivision approval—which predates adoption of Bill No. 20-2014. Therefore, according to the petitioner, the proposed development should not be required to comply with current rear yard setback regulations of the R-MU Residential/Mixed Use District.

On August 11, 2014, Paul Nielson e-mailed a reply stating that the arguments contained within the August 5, 2014, are invalid. However, Nielson stated that a formal petition (known as an Administrative Interpretation) may be submitted to the Zoning Administrator for further review, and if necessary, appeal.

Following submittal of petition PLNSUB2014-00570 on August 28, 2014, which petition is the subject of this report, on or before September 3, 2014, the City received via hand delivery a letter seeking an Administrative Interpretation to apply Section 21A.02.060.B of Salt Lake City Code to the proposed Ball Park Apartments. The Salt Lake City Planning Division assigned petition number PLNZAD2014-00583 to the request—which is currently under review by Joel Paterson, Salt Lake City Zoning Administrator.

#### **KEY ISSUES:**

The key issues listed below have been identified through the analysis of the project, neighbor and community input and department review comments.

#### **Issue 1: Fire Code**

With respect to emergency access, the Fire Department has stated that the existing widths of Albermarle Avenue and the rear alley, which are approximately 14 feet wide, do not comply with the minimum width requirement of 24 feet. The intersection of Albermarle Avenue and the public alley also fails to meet the 45 foot turning radius requirement.

In response, Ted Itchon, Salt Lake City Fire Protection Engineer, provided two options to resolve this issue:

1. Increase the amount of automatic fire sprinklers in the structure to achieve a 0.10 sprinkler density, or
2. Provide additional street width on the street to the north (Albermarle Avenue) and alley to the west to 26 feet and provide a turning radius of 45 feet outside and 20 feet inside for fire department access.

In response, the applicant has agreed to install additional fire sprinklers to achieve a 010 sprinkler density.

**Issue 2: Parking and Traffic**

Neighborhood residents and members of the Ball Park Community Council are concerned that the proposal does not provide sufficient off-street parking, and will exacerbate traffic on West Temple Street.

Salt Lake City has classified West Temple Street as a “Collector” street, which is defined below:

Collector streets provide the connection between Arterial and Local streets. Collectors can be Multi-Lane, but are meant to carry less traffic at lower speeds and for shorter distances than Arterials. They provide direct access to abutting property and carry a mix of local traffic and commuter traffic headed for nearby destinations

Although the Salt Lake City Transportation Division reviewed the petition for compliance with parking and transportation regulations—and recommended approval subject to compliance with comments provided in Attachment J - Department Comments—Planning staff prepared the following tables on parking and trip generation using data published by the Institute of Transportation Engineers (ITE):

| <b>Parking Generation</b>               |                                                |                                          |                                  |
|-----------------------------------------|------------------------------------------------|------------------------------------------|----------------------------------|
| <b>Type of Residential Development</b>  | <b>Weekday Parking Demand Ratio</b>            | <b>Proposed Number of Dwelling Units</b> | <b>Potential Vehicles Parked</b> |
| High-Rise Apartments (5 or more levels) | 1.15 to 1.52 parked vehicles per dwelling unit | 62                                       | 71 to 94                         |
| Mid-Rise Apartments (1-4 levels)        | 0.66 to 1.43 parked vehicles per dwelling unit | 62                                       | 41 to 89                         |
| Senior Adult Housing Attached           | 0.33 to 0.50 parked vehicles per dwelling unit | 62                                       | 20 to 31                         |

With regard to the following table, the Institute of Transportation Engineers defines a “trip end” as:

The origin or destination of a trip. Each trip has two ends. On a daily basis, each end has two trips: one entering and one exiting for an attractor of trips, and one exiting and one entering for a producer of trips. *In this report, “trip end” refers to a two-direction vehicle movement at the origin or destination of a trip (italics added).*

| <b>Trip Generation</b>                   |                                                            |                                          |                                                 |
|------------------------------------------|------------------------------------------------------------|------------------------------------------|-------------------------------------------------|
| <b>Type of Residential Development</b>   | <b>Weekday PM Peak Hour of Generator</b>                   | <b>Proposed Number of Dwelling Units</b> | <b>Potential Weekday PM Peak Hour Trip Ends</b> |
| High-Rise Apartments (11 or more levels) | 0.40 average vehicle trip ends (62% entering, 38% exiting) | 62                                       | 24.8                                            |
| Mid-Rise Apartments (3-10 levels)        | 0.44 average vehicle trip ends (59% entering, 41% exiting) | 62                                       | 27.3                                            |
| Senior Adult Housing Attached            | 0.11 average vehicle trip ends (53% entering, 47% exiting) | 62                                       | 6.82                                            |

In concert with the Salt Lake City Transportation Department review, staff finds the proposal does provide sufficient parking for senior housing, and will create little or no adverse effect on traffic flow (or level of service) on adjacent streets.

**Issue 3: Urban Design**

Planning Division staff routed the attached plans to Molly Robinson, Salt Lake City Urban Designer, for review. In response, Ms. Robinson provided the following comments:

1. Ground floor is not very friendly. Materials could be warmer, particularly on parts of the façade where there are no windows and building is just masking the parking. The materiality is reinforcing the fortress-like appearance of the ground floor.

2. Do the handicap spaces have to be located on the property? Can they utilize or section off two spaces on the street instead? The “tuck-under” is not inviting and the building would have a better presence if it met the ground plane at the corner. The tuck-under (feature) prevents the building from meeting the street base and therefore does not hold the corner.
3. Number of materials is a bit excessive. Could this be simplified? Can the ground floor have a single expression with upper floors different? The angled piece at the corner might benefit from a more unified treatment and call attention to the entrance in a more meaningful way.
4. Windows appear to lack lintels or sills, which might contribute more character to the building. (This may be more of an issue with the rendering.)
5. Stairwell (emergency?) could use some treatment or fenestration to complete its look as a transitional element. It seems unfinished and “chimney-like.”
6. I like the use of balconies and shared outdoor space for residents.

Staff recommends that the first floor façade on West Temple Street and Albermarle Avenue be redesigned to achieve “a more enhanced product” (see Purpose Statement of Planned Development, Section 21A.55.010 of City Code) and “facilitate the creation of a walkable urban neighborhood with an emphasis on pedestrian scale activity” (see Purpose Statement of R-MU District, Section 21A.24.170.A of City Code). Staff also recommends recessing exterior windows to create window “lintels” and “sills” as described above. Redesign of the proposal will require reorientation of the front entry to West Temple Street, and may require relocation or removal of three “tuck under” parking stalls on the northeast corner of the building.

*In response to the above comments, the applicant submitted revised building elevations, which have been provided in Attachment D – Elevations & Renderings, however because the amended drawings were received on November 4, 2014, staff was unable to coordinate a second review prior to publication of this report.*

#### **DISCUSSION:**

As outlined previously, Jack Jenks, acting in behalf of the applicant, Summit Housing Group, submitted building permit application number BLD2014-04272 on June 18, 2014. During the site plan and zoning review of the building permit application, Alan Michelsen, Salt Lake City Development Review Planner II, noted the development did not comply with the minimum rear yard setback of the R-MU District—which regulation would require significant design changes.

In response to the rear yard setback issue, the applicant met with members of Planning Division management and staff to discuss options, including submittal of a planned development petition to reduce the rear yard setback from 30'-0" to 0'-0".

The applicant also submitted petition PLNZAD2014-00583 for an administrative interpretation to determine whether the applicant has vested rights to develop under City Code in effect on November 7, 2013—the date of submittal of a preliminary subdivision petition PLNSUB2013-00927 for the subject property—which exempted multi-family dwellings from the 30'-0" rear yard setback.

#### **NEXT STEPS:**

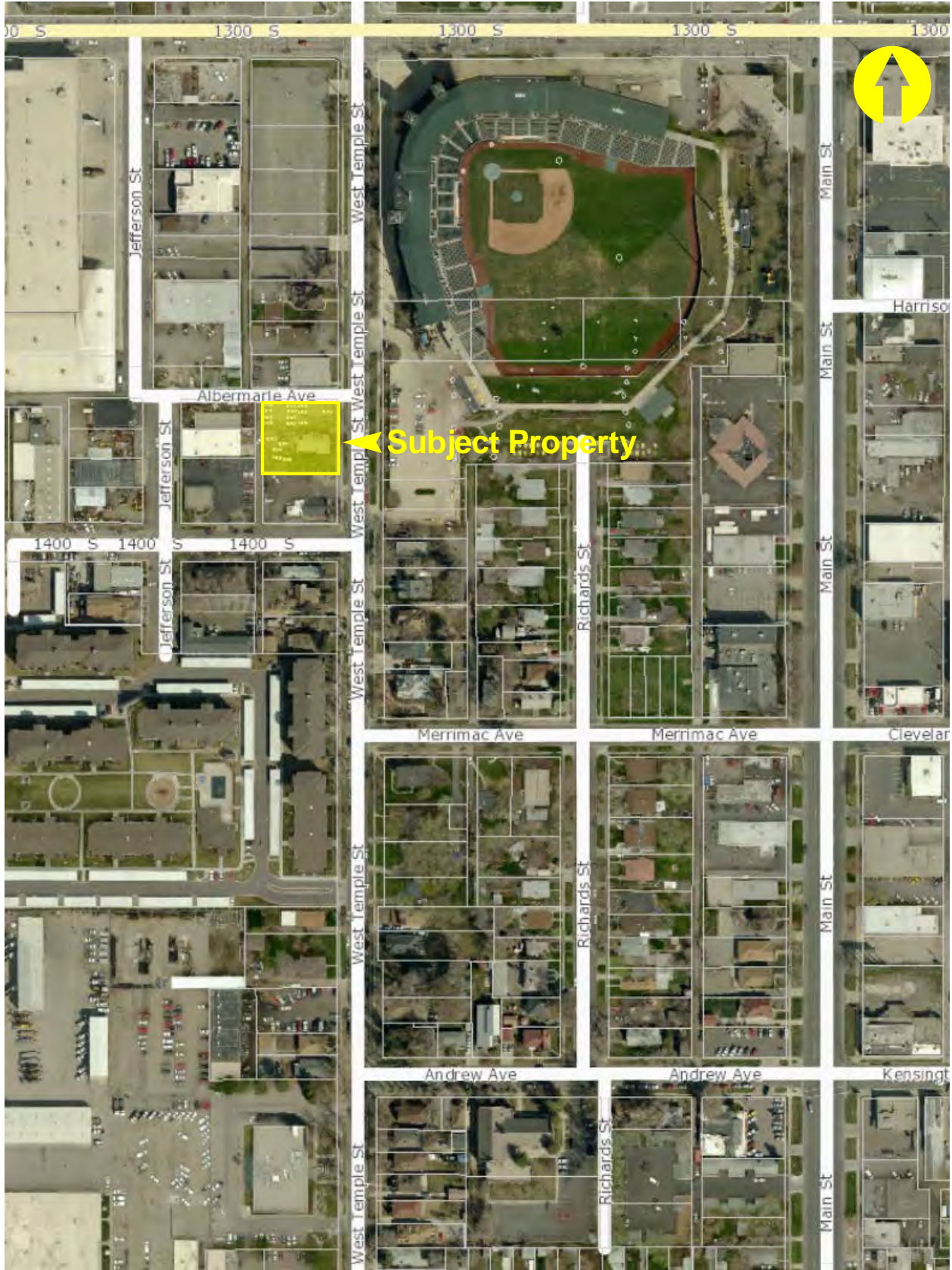
If the petition is approved, the applicant will be required to comply with Planning Commission conditions (if any) and obtain all necessary permits for the project.

If the petition is denied, the applicant will be required to redesign the building and comply with the minimum rear yard setback; however the Commission’s decision is appealable to the Salt Lake City Appeals Hearing Officer, which the applicant may pursue following the Planning Commission’s final decision.

The Planning Commission may also “table” or “continue” the petition if additional research and consideration is needed prior to making a final decision.

## **ATTACHMENT A: VICINITY MAP**

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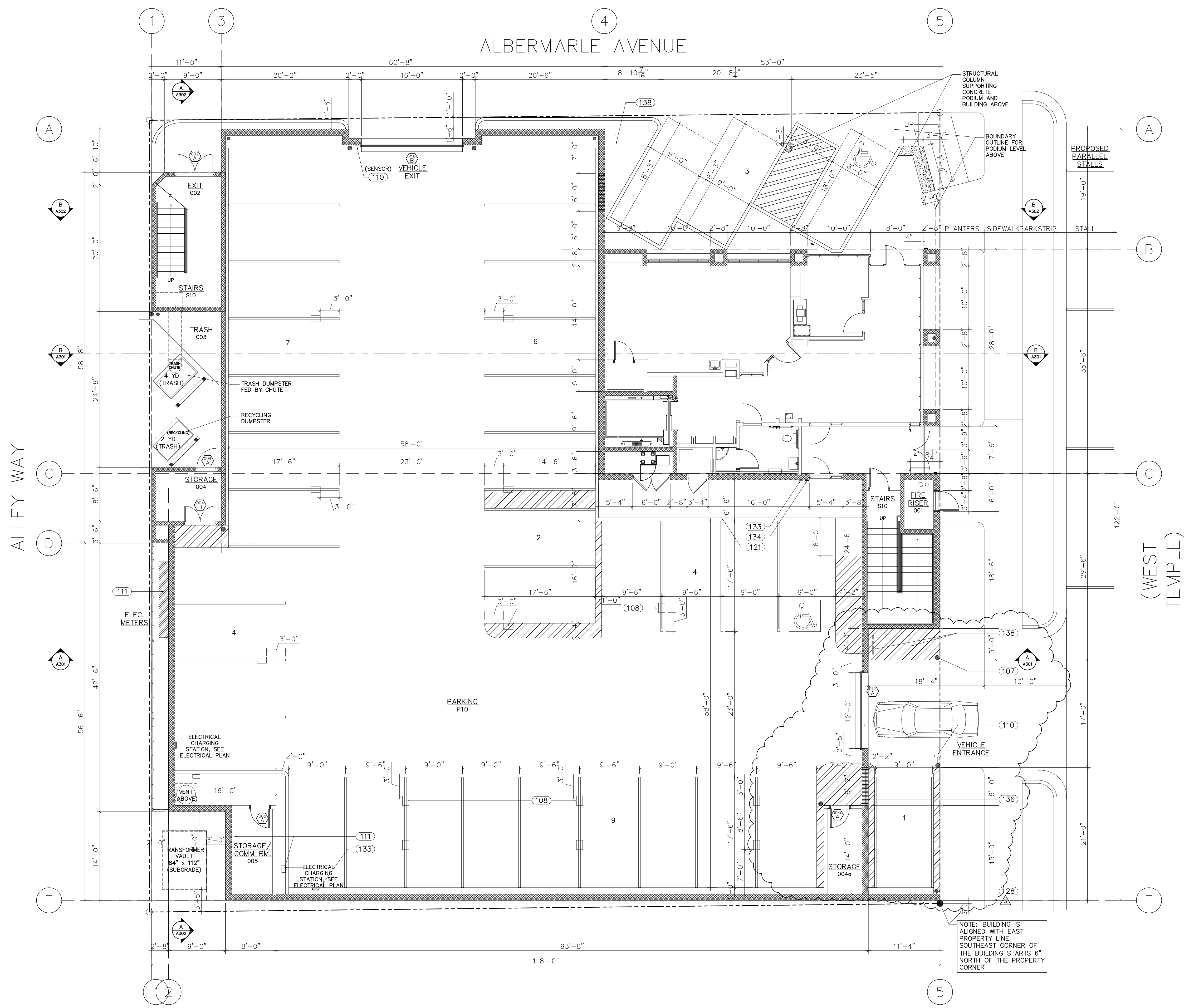


Subject Property





# **ATTACHMENT B: SITE PLAN & PARKING CALCULATIONS**



**PARKING CALCULATIONS**

21A.24.170 R-MU RESIDENTIAL MIXED-USE DISTRICT  
PROJECT TYPE: RESIDENTIAL MULTI-FAMILY

**21A.44.020 GENERAL PARKING REGULATIONS**

TABLE 21A.44.020 PARKING DIMENSIONS  
90 DEGREE STALL DIMENSIONS:  
9'-0" W X 17'-6" H; 22'-7" AISLE

21A.44.030.G NUMBER OF PARKING SPACES REQUIRED:

NOTES AT END OF TABLE:  
MINIMUM PARKING REQUIREMENTS FOR AFFORDABLE AND SENIOR HOUSING: BUILDINGS THAT HAVE 10 OR MORE RESIDENTIAL UNITS WITH AT LEAST 25 PERCENT OF THE UNITS AS EITHER AFFORDABLE OR SENIOR HOUSING SHALL BE ALLOWED TO HAVE A MINIMUM OF 1/2 OF A PARKING SPACE PROVIDED FOR EACH DWELLING UNIT.

21A.44.030.G.5 - MULTI-FAMILY RESIDENTIAL

|                             |             |
|-----------------------------|-------------|
| Calculations:               |             |
| REQUIRED: (62*0.5)          | = 31 STALLS |
| + (2/1000 S.F. @ 1347 S.F.) | = 3 STALLS  |
| TOTAL REQUIRED:             | = 34 STALLS |
| PROVIDED:                   | = 36 STALLS |
| MAX. STALLS @ 125%:         | = 42 STALLS |

21A.44.030.H.2 - MAX. OFF-STREET PARKING FOR ALL USES IN DISTRICTS OTHER THAN THE DOWNTOWN DISTRICTS, THE G-MU DISTRICT, AND THE TSA DISTRICT, THE MAXIMUM ALLOWABLE NUMBER OF PARKING SPACES SHALL BE ONE HUNDRED TWENTY FIVE PERCENT (125%) OF THE REQUIRED MINIMUM AS SPECIFIED IN SUBSECTION G OF THIS SECTION.

21A.44.050 TRANSPORTATION DEMAND MANAGEMENT:

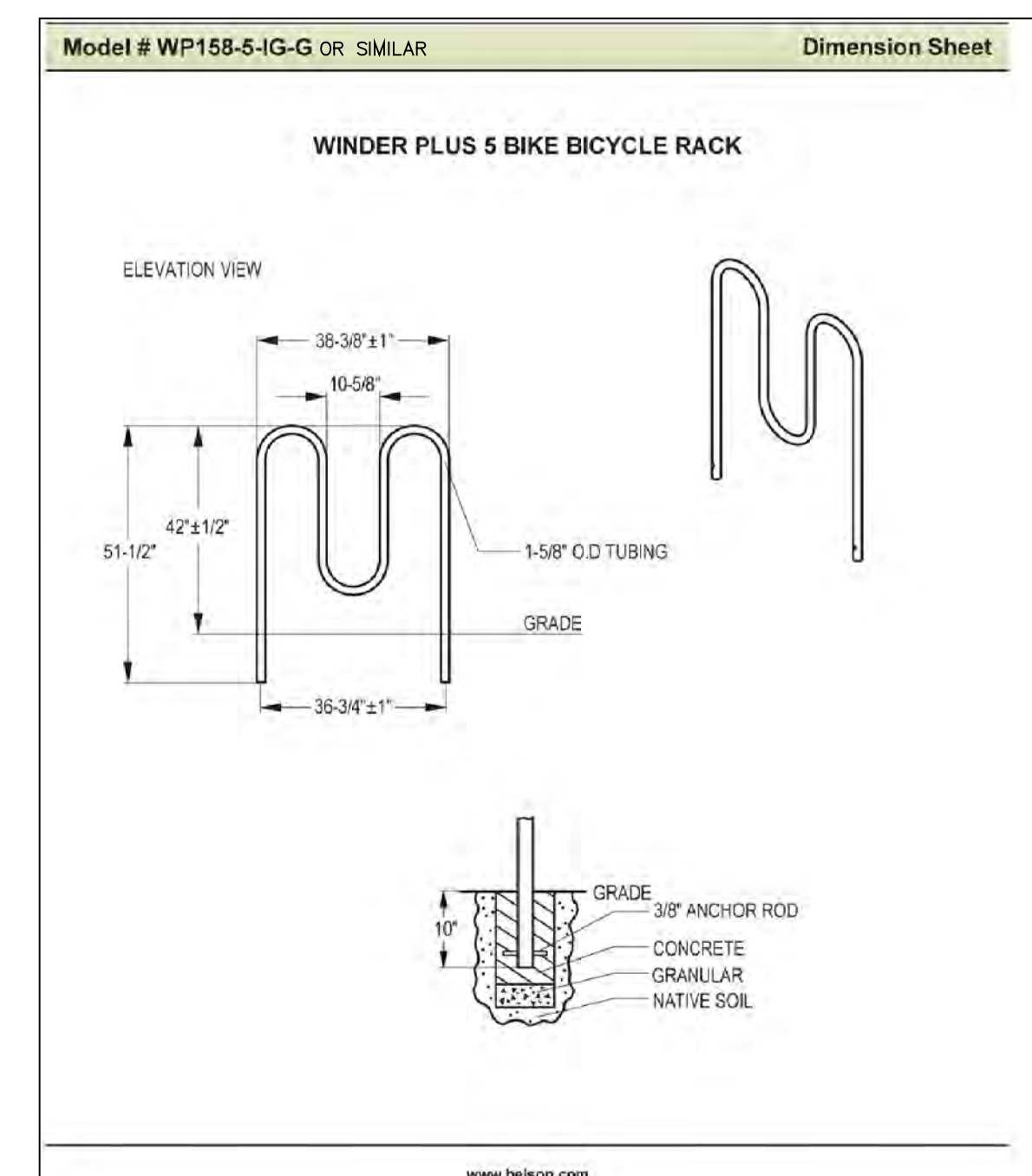
|                                              |     |
|----------------------------------------------|-----|
| TABLE 21A.44.050.B.2 ELECTRIC VEHICLE SPACES |     |
| REQUIRED: (1/25 STALLS)                      | = 2 |
| PROVIDED:                                    | = 2 |

|                                              |             |
|----------------------------------------------|-------------|
| TABLE 21A.44.050.B.3 REQUIRED BICYCLE SPACES |             |
| REQUIRED: (31*0.05)                          | = 1.55 OR 2 |
| PROVIDED: (3/RACK * 3 RACKS)                 | = 9         |

21A.44.050.B.5 - BICYCLE RACK DESIGN  
RACKS SHALL BE DESIGNED IN ACCORDANCE WITH THIS SECTION.

21A.44.080 SPECIFIC OFFSTREET LOAD REQUIREMENTS:  
TABLE 21A.44.080 OFF STREET LOADING REQUIREMENTS MULTI-FAMILY: THIS REQUIREMENT IS N/A DUE TO TOTAL PROJECT AREA BEING LESS THAN 100,000 S.F.

SEE SHEET A100 FOR KEYNOTE INFORMATION



**BALL PARK APARTMENTS**  
1380 SOUTH WEST TEMPLE ST.  
SALT LAKE CITY, UTAH

DATE: 2014-10-21  
CITY REVIEW COMMENTS

SHEET #

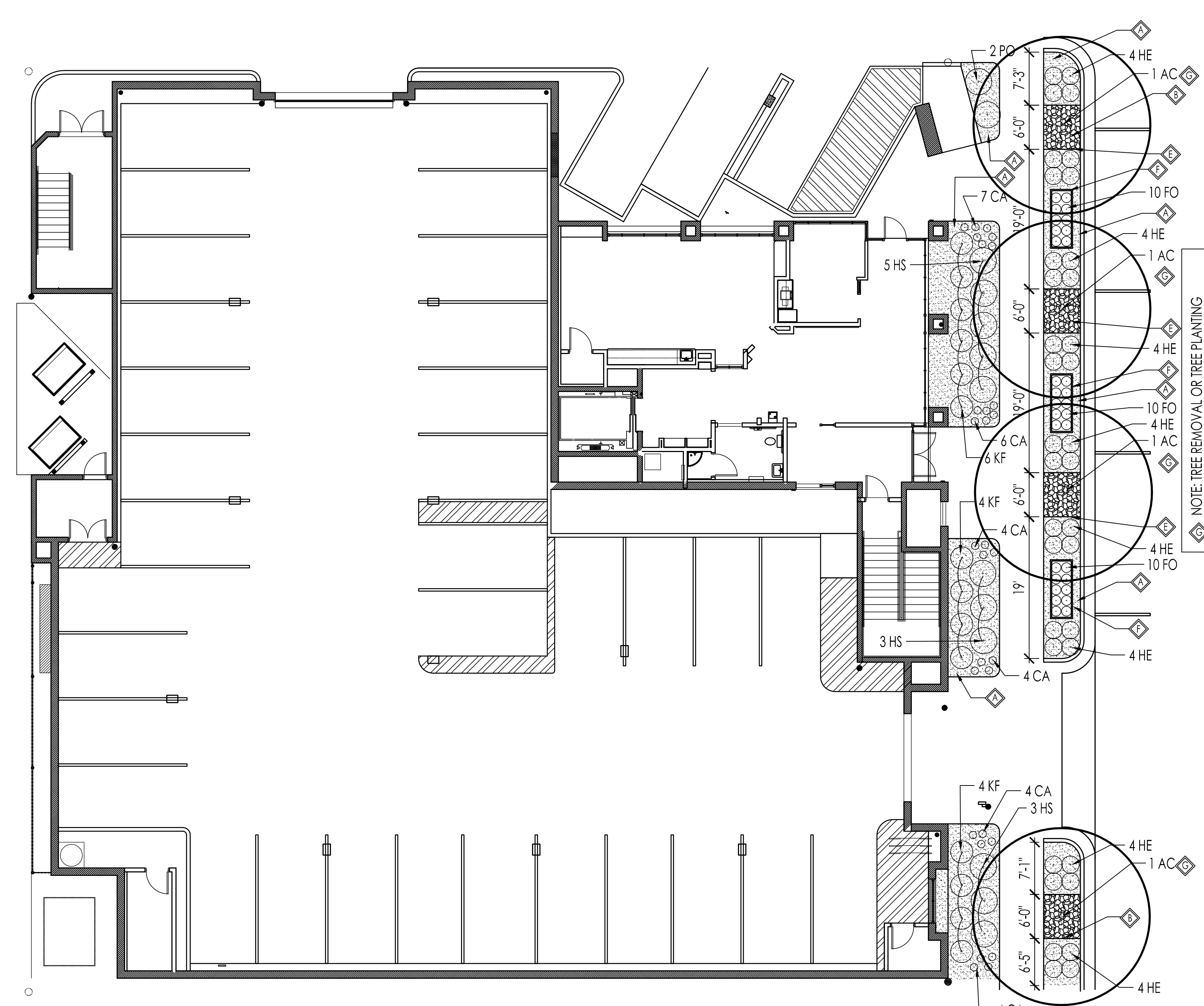
**A001**

**A** STREET LEVEL PLAN  
SCALE: 1/8" = 1'-0"

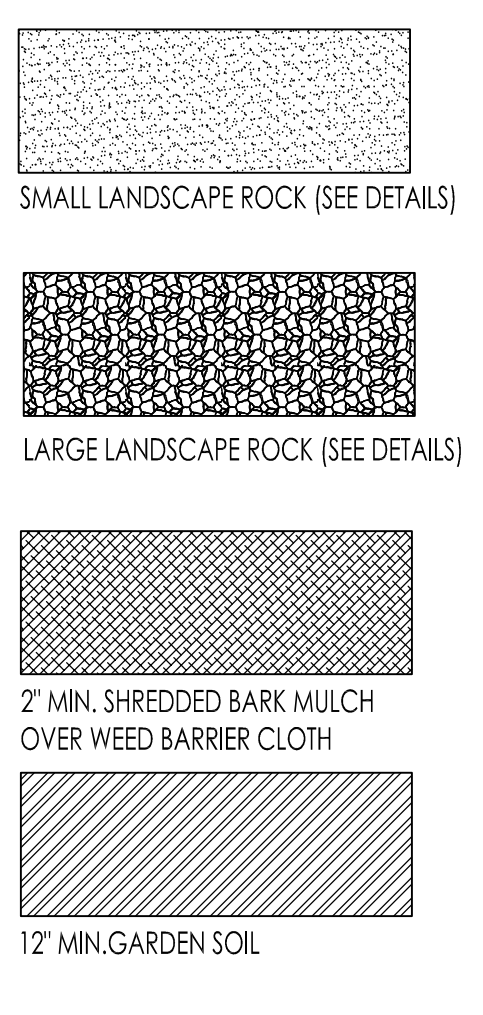
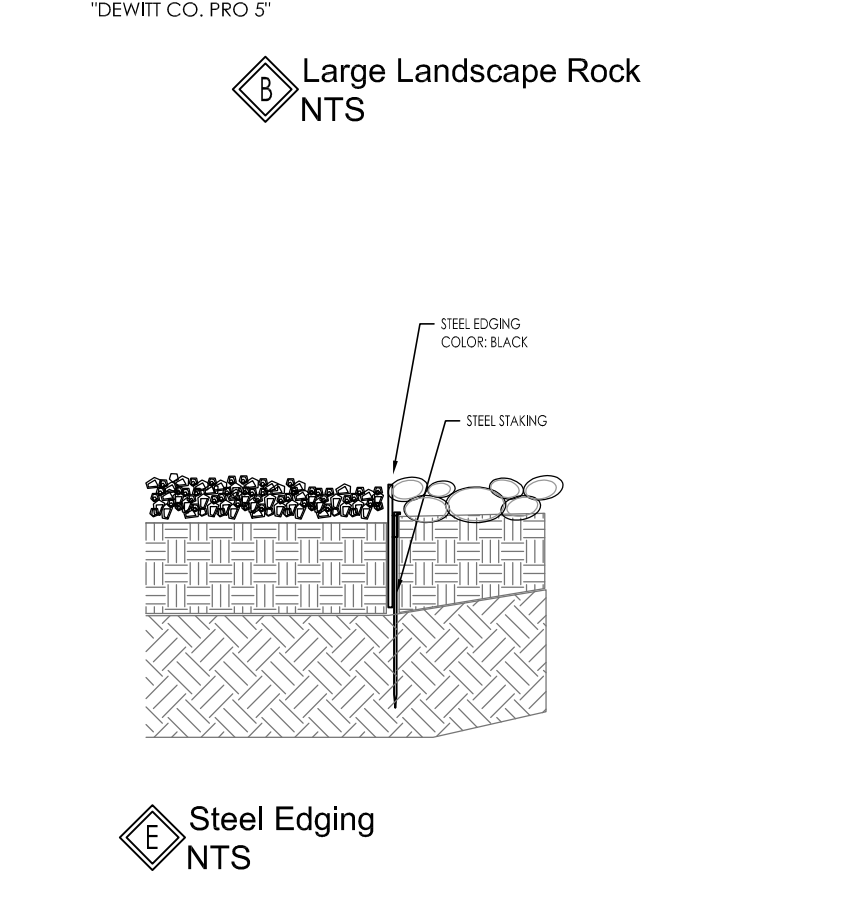
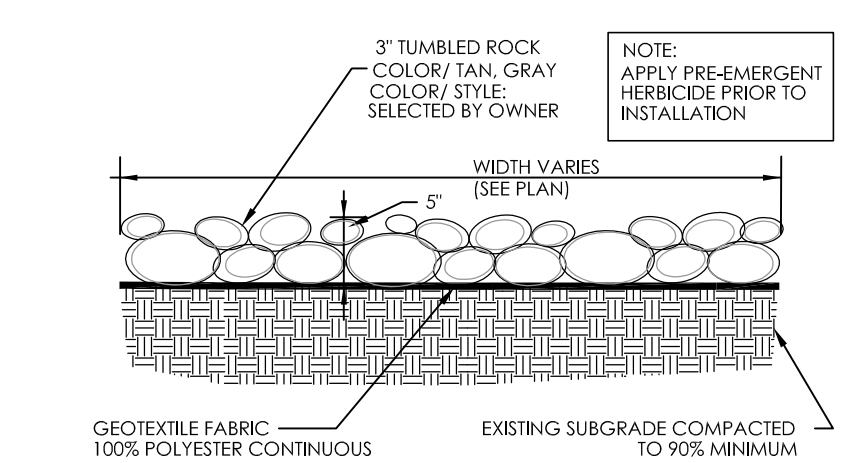
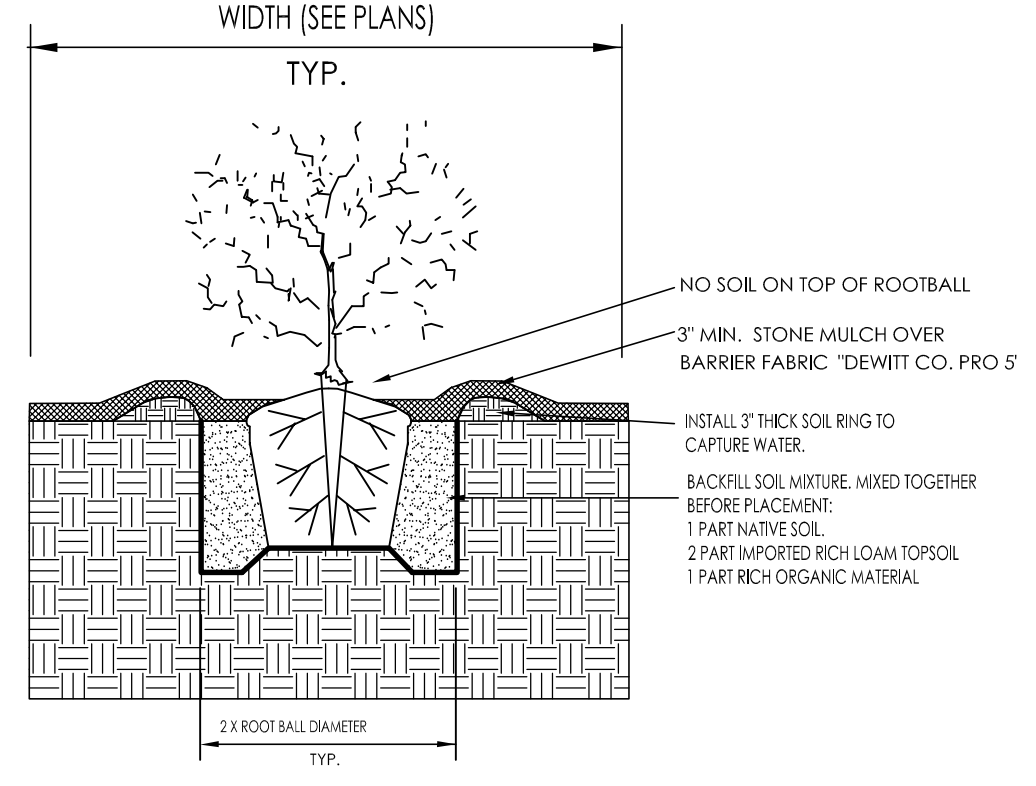
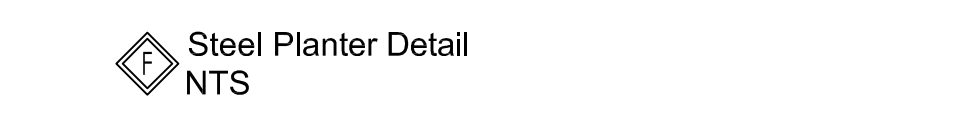
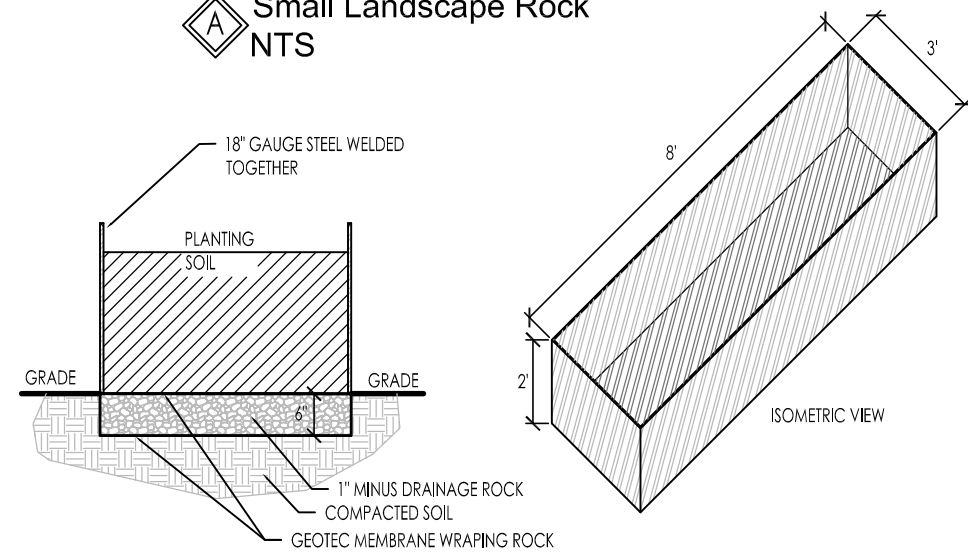
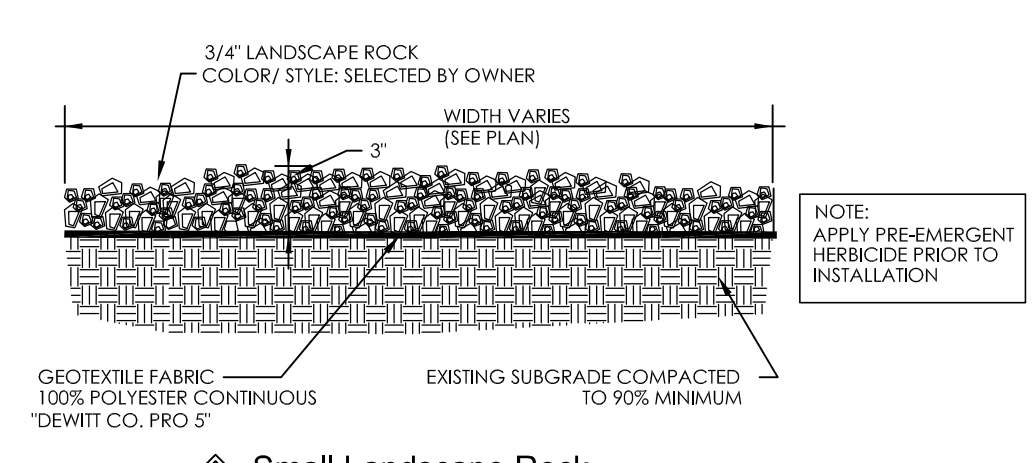
**B** BIKE RACK DETAIL  
SCALE: N.T.S.

## **ATTACHMENT C: LANDSCAPE PLAN**

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NOTE: TREE REMOVAL OR TREE PLANTING IN THE PUBLIC WAY REQUIRES APPROVAL FROM SLC URBAN FORESTRY (801-972-7818)



**SITE TABULATION**

|                                      |            |
|--------------------------------------|------------|
| TOTAL STREET LEVEL LANDSCAPE         | 1,014 S.F. |
| % OF DROUGHT TOLLERANT PLANT SPECIES | 95%        |
| STREET TREES                         | 4          |

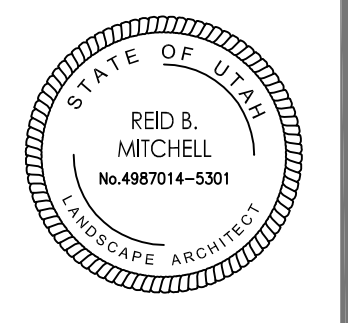
- D SMALL LANDSCAPE ROCK (SEE DETAIL)
- B LARGE LANDSCAPE ROCK (SEE DETAIL)
- C 2" THICK MIN. SHREDDED BARK MULCH OVER WEED BARRIER CLOTH
- D 12" THICK MIN. GARDEN SOIL
- E STEEL EDGING
- F STEEL PLANTER

**GENERAL NOTES**

- PLANT NAMES MAY BE ABBREVIATED ON THE DRAWINGS. SEE PLANT LEGEND FOR ABBREVIATIONS, BOTANICAL NAMES, SIZES, ESTIMATED QUANTITIES (IF GIVEN) AND OTHER REMARKS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH ALL PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES. PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO MAINTAIN AND WARRANTY ALL PLANT MATERIALS PER THE SPECIFICATIONS. ALL PLANTS SHALL BE SUBJECT TO OWNER'S APPROVAL PRIOR TO INSTALLATION.
- PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREES AND PLANTS INSTALLED GRID OR SPACED EQUALLY IN ROWS AS SHOWN ON DRAWINGS. ADJUST SPACING (EQUAL TO EQUAL) AS NECESSARY. SUBJECT TO ACCEPTANCE BY THE OWNERS REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL TAKE ALL NECESSARY SCHEDULING AND OTHER PRECAUTIONS TO AVOID WINTER, CLIMATIC, WILDLIFE, OR OTHER DAMAGE TO PLANTS. THE CONTRACTOR SHALL INSTALL THE APPROPRIATE PLANTS AT APPROPRIATE TIME TO GUARANTEE LIFE OF PLANTS FOR 12 MONTHS AFTER INSTALLATION.
- CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR 1 YEAR FROM SUBSTANTIAL COMPLETION
- ALL SHRUB PLANTING AREAS SHALL RECEIVE A 6 INCH DEPTH OF TOPSOIL. TOPSOIL MATERIAL IS NOT AVAILABLE AT THE SITE AND MUST BE IMPORTED FROM A LOCAL SOURCE. ALL TOPSOIL SHALL BE OF A RICH SANDY LOAM MIX.
- ALL PLANT MATERIAL HOLES SHALL BE DUG TWICE THE DIAMETER OF THE ROOTBALL AND 6 INCHES DEEPER. EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE.
- PLANT BACKFILL MIXTURE SHALL BE COMPOSED OF 3 PARTS TOPSOIL TO 1 PART HUMUS ADDITIVE, AND SHALL BE ROTARY MIXED ON-SITE PRIOR TO INSTALLATION.

NOTE: TREE PROTECTION AND MITIGATION PLAN IS NOT REQUIRED. THERE ARE NO EXISTING TREES TO REMAIN ON SITE.

- CONTRACTOR SHALL OBTAIN A PERMIT FROM THE LOCAL URBAN FORESTER PRIOR TO PLANTING TREES WITHIN RIGHT OF WAY.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL ENSURE THAT ALL LANDSCAPE AND IRRIGATION WORK CONFORM TO SALT LAKE CITY STANDARDS AND SPECIFICATIONS.
- ALL PLANTING AREAS SHALL BE IRRIGATED WITH AN AUTOMATED DRIP SYSTEM PER SALT LAKE CITY SPECIFICATIONS. IF NOT PRESENT ON SITE, THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A BACKFLOW PREVENTION DEVICE PER SALT LAKE CITY STANDARDS.
- THIS PROJECT WAS DESIGNED USING THE BMPs FROM "SLC LANDSCAPE BMPs FOR WATER RESOURCE EFFICIENCY AND PROTECTION" MANUAL. THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THIS MANUAL AND APPLY BMPs IN THE INSTALLATION AND MAINTENANCE OF THIS LANDSCAPE.



STAMP

**Bail Park Senior Housing Landscape Plan**

REVISIONS

**Street Level Landscape Plan**

SHEET NAME:

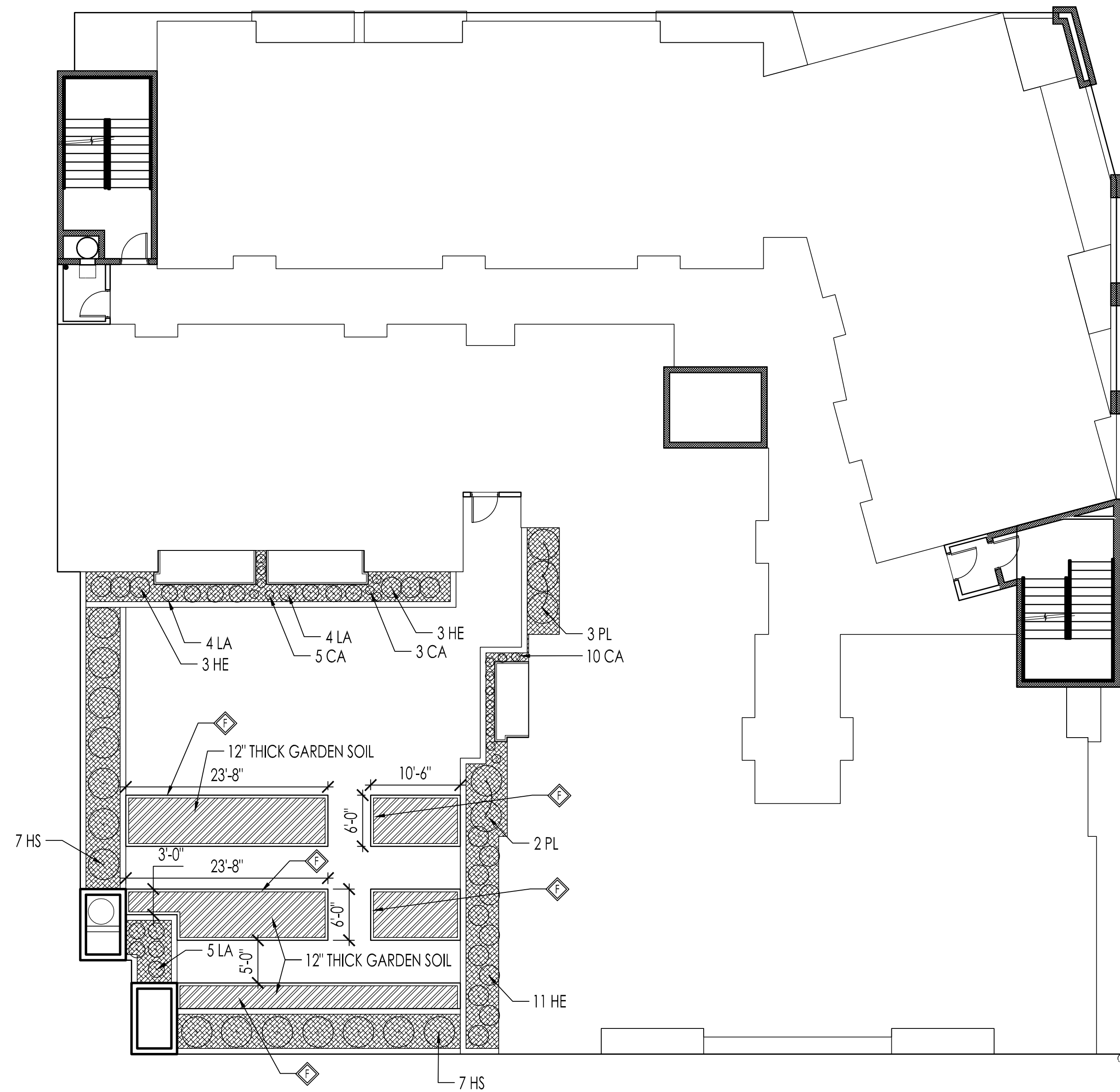
**L-100**

SHEET NO. 8/8/2014  
DATE

2844 Beverly Street  
Salt Lake City, Utah 84106  
P 801 209 1072  
F reid.mitchell@gmail.com

1380 S. West Temple  
Salt Lake City, Utah





**Plant Legend**

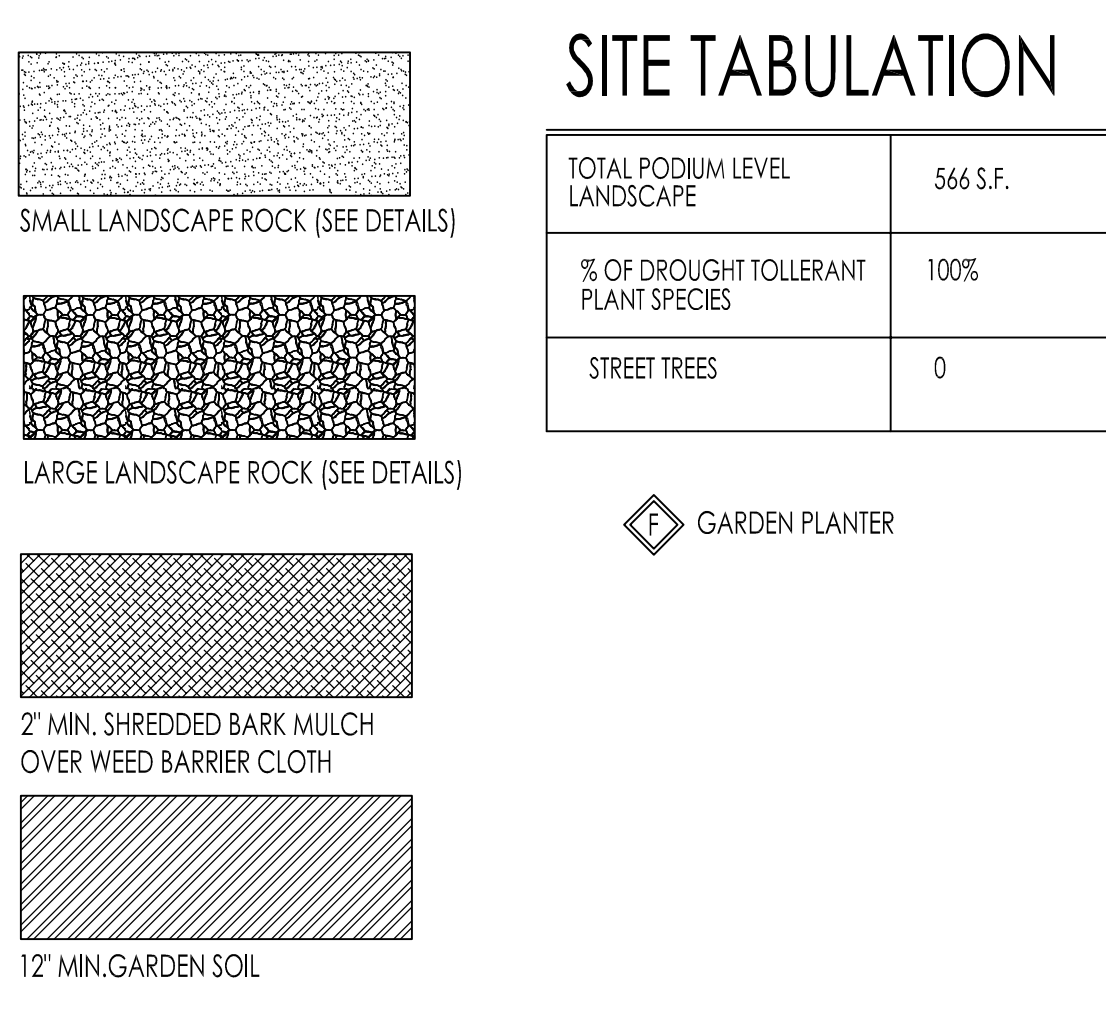
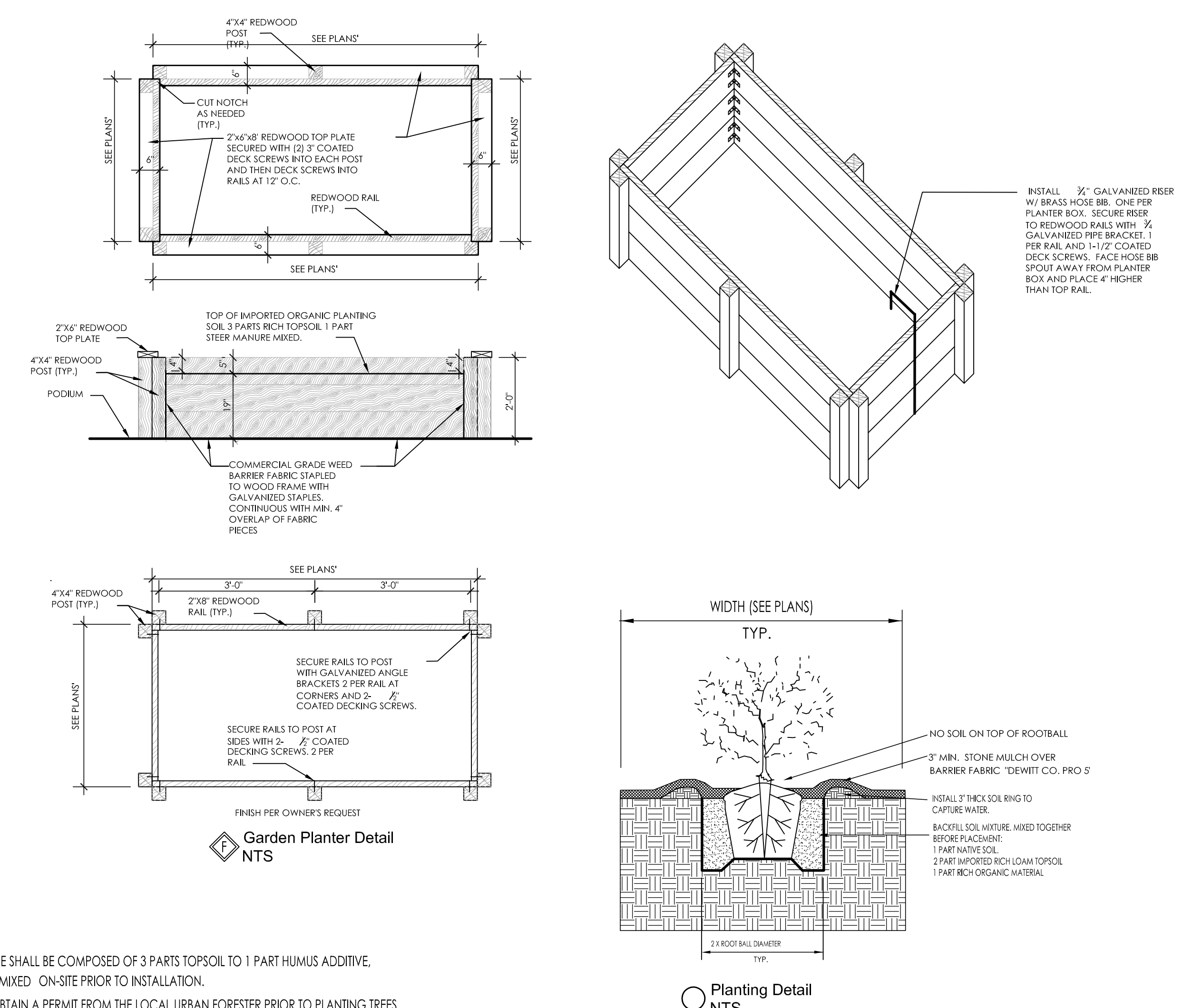
| Shrubs |                                 |                       |        |               |              |                             |
|--------|---------------------------------|-----------------------|--------|---------------|--------------|-----------------------------|
| Key    | Botanical Name                  | Common Name           | Size   | Mature Height | Mature Width | SLC Water conservation list |
| PL     | PHILADELPHUS LEWISII 'BLIZZARD' | MOCK ORANGE           | 5 GAL. | 5'            | 3'           | yes - 1                     |
| BT     | berberis thunbergii 'nana'      | Crimson Pymy Barberry | 5 GAL. | 3'            | 3'           | yes - 1                     |
| PO     | PHYSOCARPUS OPULUS 'darts gold' | NINEBARK              | 5 GAL. | 4'            | 4'           | yes - 1                     |

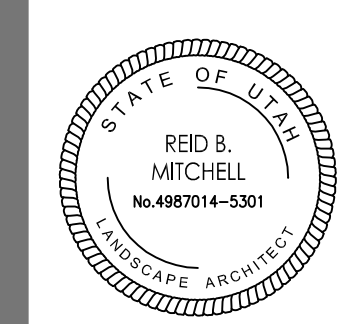
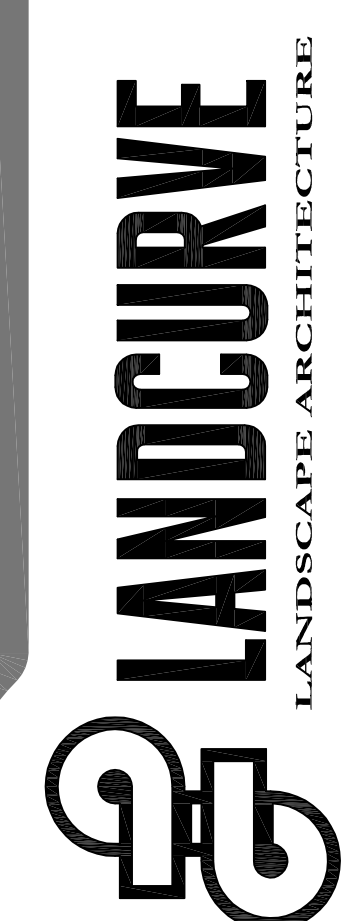
| Perennials and groundcover |                            |                      |        |               |              |                             |
|----------------------------|----------------------------|----------------------|--------|---------------|--------------|-----------------------------|
| Key                        | Botanical Name             | Common Name          | Size   | Mature Height | Mature Width | SLC Water conservation list |
| HE                         | Hemerocallis 'rocket city' | Daylily              | 1 GAL. | 36"           | 36"          | yes - 2                     |
| CA                         | COREOPSIS AURICULATA       | NANA POT OF GOLD     | 1 GAL. | 6"            | 8"           | yes - 2                     |
| LA                         | LAVANDULA ANFUSTIFOLIA     | LAVENDER             | 1 GAL. | 14"           | 14"          | yes - 1                     |
| SA                         | Sedum Acre                 | Goldmoss Sedum       | Pot    | 3"            | 3"           | No                          |
| SS                         | Sedum Spurium              | Dragon's Blood Sedum | Pot    | 6"            | 6"           | No                          |
| ST                         | Sedum Spurium              | Tricolor Sedum       | Pot    | 4"            | 4"           | No                          |
| SAL                        | Salvia pachyphylla         | Mojave Sage Salvia   | 1 GAL. | 36"           | 24"          | yes - 2                     |

| Ornamental Grasses |                             |                       |        |               |              |                             |
|--------------------|-----------------------------|-----------------------|--------|---------------|--------------|-----------------------------|
| Key                | Botanical Name              | Common Name           | Size   | Mature Height | Mature Width | SLC Water conservation list |
| KF                 | Calamagrostis actiflora     | Stricta feather grass | 2 GAL. | 5'            | 3'           | yes - 1                     |
| HS                 | Helictotrichon Sempervirens | Blue Oat grass        | 2 GAL. | 4'            | 4'           | yes - 1                     |
| FO                 | Festuca Ovina Glauca        | Blue Sheep Fescue     | 2 GAL. | 14"           | 14"          | yes - 1                     |



- GENERAL NOTES**
- PLANT NAMES MAY BE ABBREVIATED ON THE DRAWINGS. SEE PLANT LEGEND FOR ABBREVIATIONS, BOTANICAL NAMES, SIZES, ESTIMATED QUANTITIES (IF GIVEN) AND OTHER REMARKS.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH ALL PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES. PRE-SELECTED OR 'TAGGED' MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO MAINTAIN AND WARRANTY ALL PLANT MATERIALS PER THE SPECIFICATIONS. ALL PLANTS SHALL BE SUBJECT TO OWNER'S APPROVAL PRIOR TO INSTALLATION.
  - PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREES AND PLANTS INSTALLED. GRID OR SPACED EQUALLY IN ROWS AS SHOWN ON DRAWINGS. ADJUST SPACING (EQUAL TO EQUAL) AS NECESSARY. SUBJECT TO ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
  - THE LANDSCAPE CONTRACTOR SHALL TAKE ALL NECESSARY SCHEDULING AND OTHER PRECAUTIONS TO AVOID WINTER, CLIMATIC, WILDLIFE, OR OTHER DAMAGE TO PLANTS. THE CONTRACTOR SHALL INSTALL THE APPROPRIATE PLANTS AT APPROPRIATE TIME TO GUARANTEE LIFE OF PLANTS FOR 12 MONTHS AFTER INSTALLATION.
  - CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR 1 YEAR FROM SUBSTANTIAL COMPLETION.
  - ALL SHRUB PLANTING AREAS SHALL RECEIVE A 6 INCH DEPTH OF TOPSOIL. TOPSOIL MATERIAL IS NOT AVAILABLE AT THE SITE AND MUST BE IMPORTED FROM A LOCAL SOURCE. ALL TOPSOIL SHALL BE OF A RICH SANDY LOAM MIX.
  - ALL PLANT MATERIAL HOLES SHALL BE DUG TWICE THE DIAMETER OF THE ROOTBALL AND 6 INCHES DEEPER. EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE.
  - PLANT BACKFILL MIXTURE SHALL BE COMPOSED OF 3 PARTS TOPSOIL TO 1 PART HUMUS ADDITIVE, AND SHALL BE ROTARY MIXED ON-SITE PRIOR TO INSTALLATION.
  - CONTRACTOR SHALL OBTAIN A PERMIT FROM THE LOCAL URBAN FORESTER PRIOR TO PLANTING TREES WITHIN RIGHT OF WAY.
  - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL ENSURE THAT ALL LANDSCAPE AND IRRIGATION WORK CONFORM TO SALT LAKE CITY STANDARDS AND SPECIFICATIONS.
  - ALL PLANTING AREAS SHALL BE IRRIGATED WITH AN AUTOMATED DRIP SYSTEM PER SALT LAKE CITY SPECIFICATIONS. IF NOT PRESENT ON SITE, THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A BACKFLOW PREVENTION DEVICE PER SALT LAKE CITY STANDARDS.
  - THIS PROJECT WAS DESIGNED USING THE BMPs FROM 'SLC LANDSCAPE BMPs FOR WATER RECOUENCE EFFICIENCY AND PROTECTION' MANUAL. THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THIS MANUAL AND APPLY BMPs IN THE INSTALLATION AND MAINTENANCE OF THIS LANDSCAPE.



STAMP

**Ball Park Senior Housing Landscape Plan**

REVISIONS

**Podium Level Landscape Plan**

SHEET NAME

**L-101**

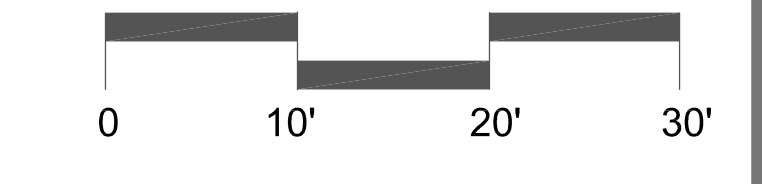
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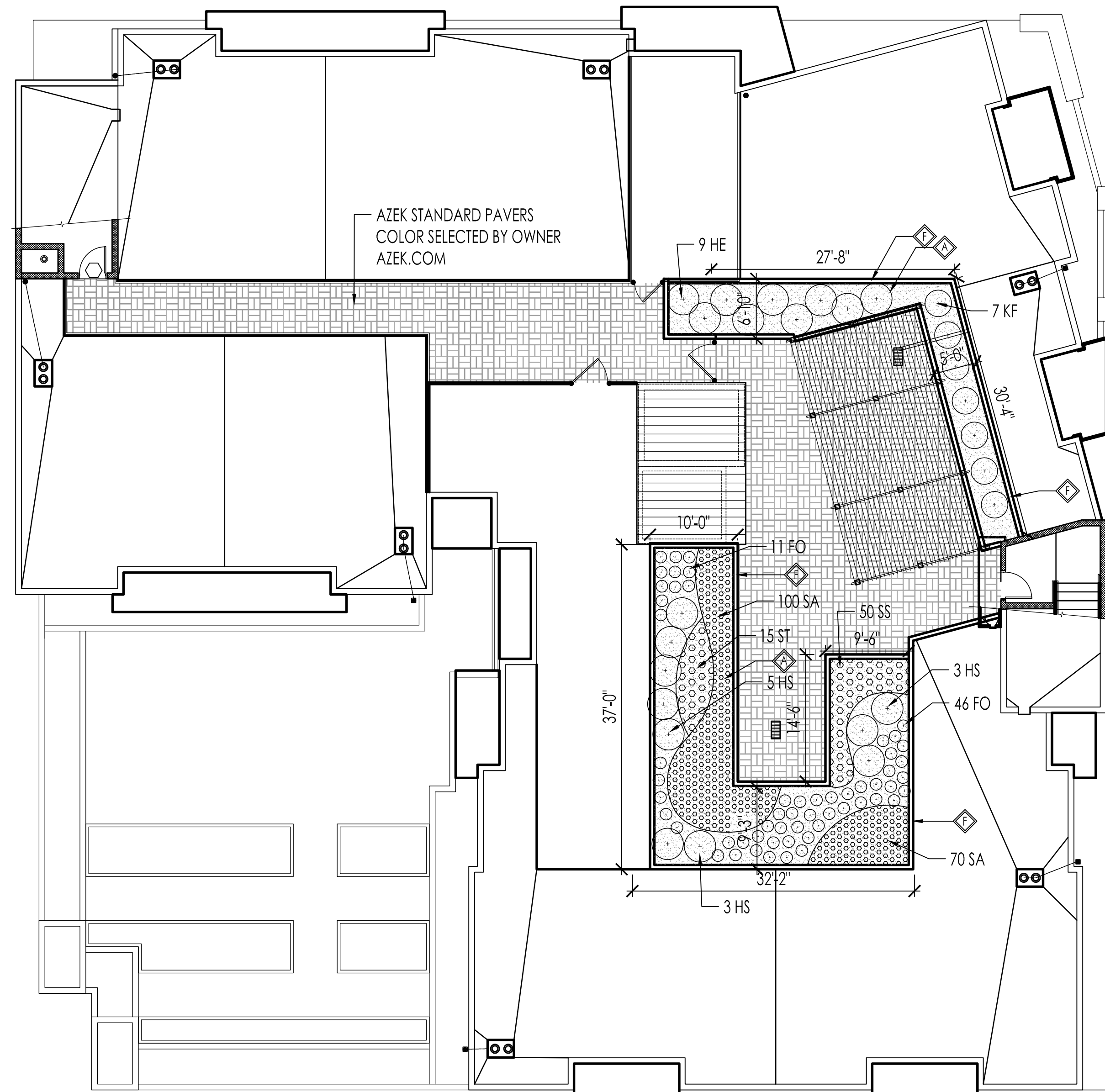
8/8/2014

DATE

1380 S. West Temple  
Salt Lake City, Utah

2844 Beverly Street  
Salt Lake City, Utah 84106  
P: 801.209.1072  
E: reid.mitchell@gmail.com





### Plant Legend

#### Shrubs

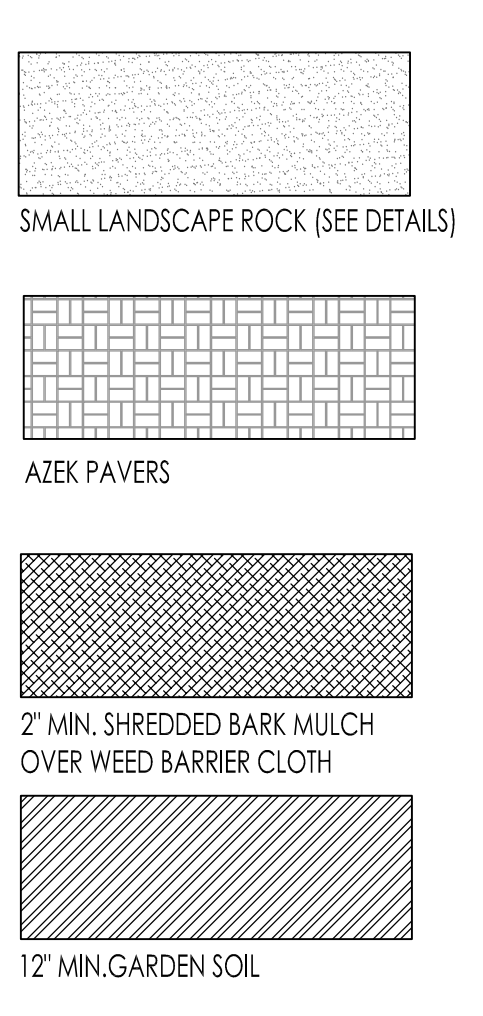
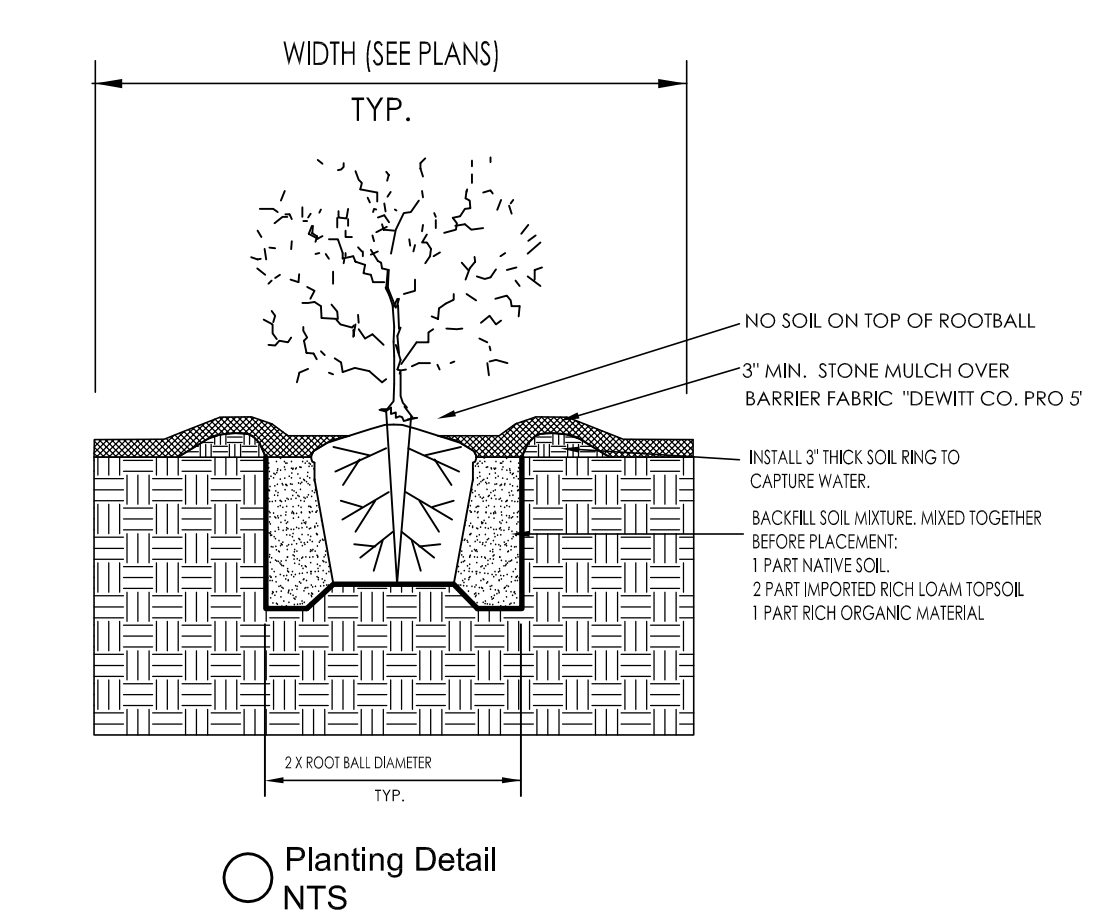
| Key | Botanical Name                   | Common Name            | Size   | Mature Height | Mature Width | SLC Water conservation list |
|-----|----------------------------------|------------------------|--------|---------------|--------------|-----------------------------|
| PL  | PHILADELPHUS LEWISII "BLIZZARD"  | MOCK ORANGE            | 5 GAL. | 5'            | 3'           | yes - 1                     |
| BT  | berberis thunbergii 'nana'       | Crimson Pygmy Barberry | 5 GAL. | 3'            | 3'           | yes - 1                     |
| PO  | PHYSOCARPUS OPUPLUS 'darts gold' | NINEBARK               | 5 GAL. | 4'            | 4'           | yes - 1                     |

#### Perennials and groundcover

| Key | Botanical Name             | Common Name          | Size   | Mature Height | Mature Width | SLC Water conservation list |
|-----|----------------------------|----------------------|--------|---------------|--------------|-----------------------------|
| HE  | Hemerocallis 'rocket city' | Daylily              | 1 GAL. | 36"           | 36"          | yes - 2                     |
| CA  | COREOPSIS AURICULATA       | NANA POT OF GOLD     | 1 GAL. | 6"            | 8"           | yes - 2                     |
| LA  | LAVANDULA ANFUSTIFOLIA     | LAVENDER             | 1 GAL. | 14"           | 14"          | yes - 1                     |
| SA  | Sedum Acre                 | Goldmoss Sedum       | Pot    | 3"            | 3"           | No                          |
| SS  | Sedum Spurius              | Dragon's Blood Sedum | Pot    | 6"            | 6"           | No                          |
| ST  | Sedum Spurius              | Tricolor Sedum       | Pot    | 4"            | 4"           | No                          |
| SAL | Salvia pachyphylia         | Majave Sage Salvia   | 1 GAL. | 36"           | 24"          | yes - 2                     |

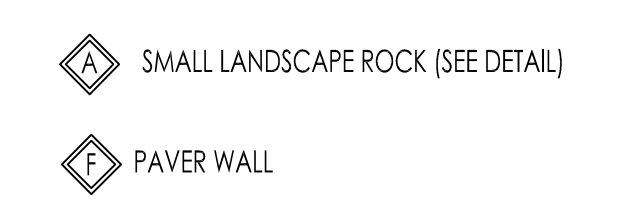
#### Ornamental Grasses

| Key | Botanical Name              | Common Name           | Size   | Mature Height | Mature Width | SLC Water conservation list |
|-----|-----------------------------|-----------------------|--------|---------------|--------------|-----------------------------|
| KF  | Calamagrostis actuliflora   | Stricta feather grass | 2 GAL. | 5'            | 3'           | yes - 1                     |
| HS  | Helictotrichon Sempervirens | Blue Oat grass        | 2 GAL. | 4'            | 4'           | yes - 1                     |
| FO  | Festuca Ovina Glauca        | Blue Sheep Fescue     | 2 GAL. | 14"           | 14"          | yes - 1                     |

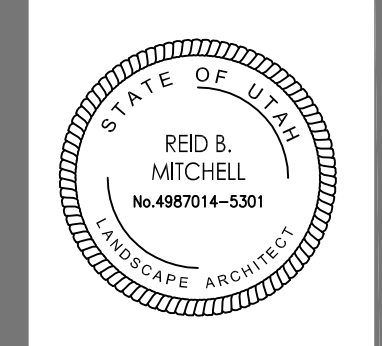
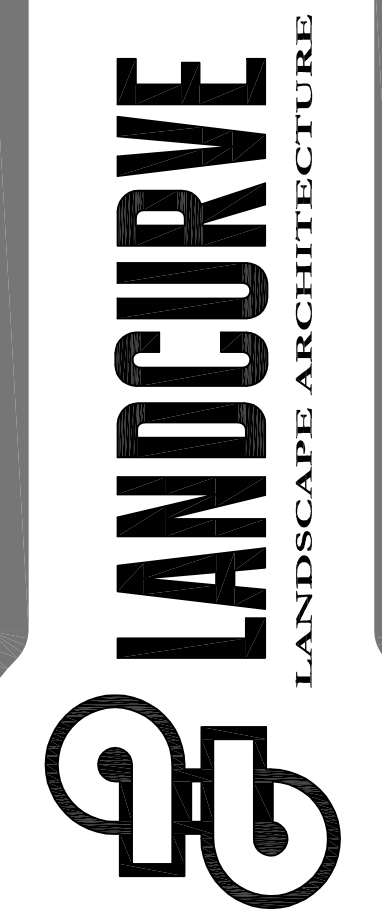
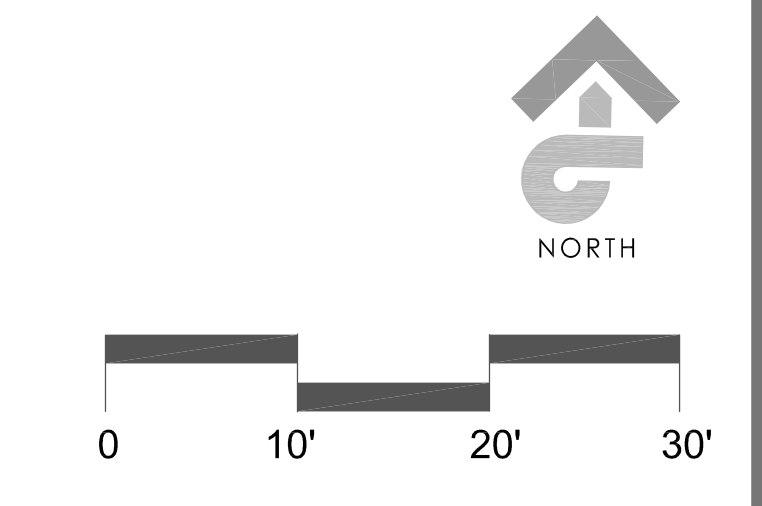
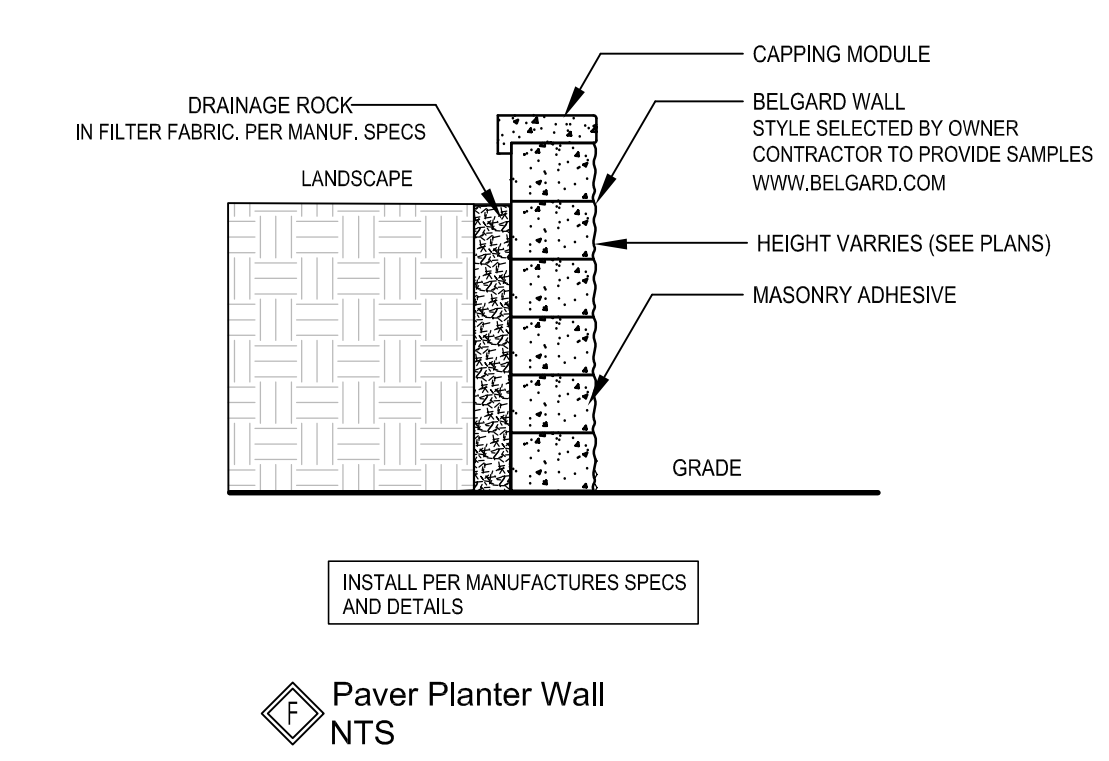


### SITE TABULATION

|                                      |            |
|--------------------------------------|------------|
| TOTAL STREET LEVEL LANDSCAPE         | 1,021 S.F. |
| % OF DROUGHT TOLLERANT PLANT SPECIES | 50%        |
| STREET TREES                         | 0          |



- ### GENERAL NOTES
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STAMP

## Ball Park Senior Housing Landscape Plan

1380 S. West Temple  
Salt Lake City, Utah

REVISIONS

## Second Level Landscape Plan

SHEET NAME:

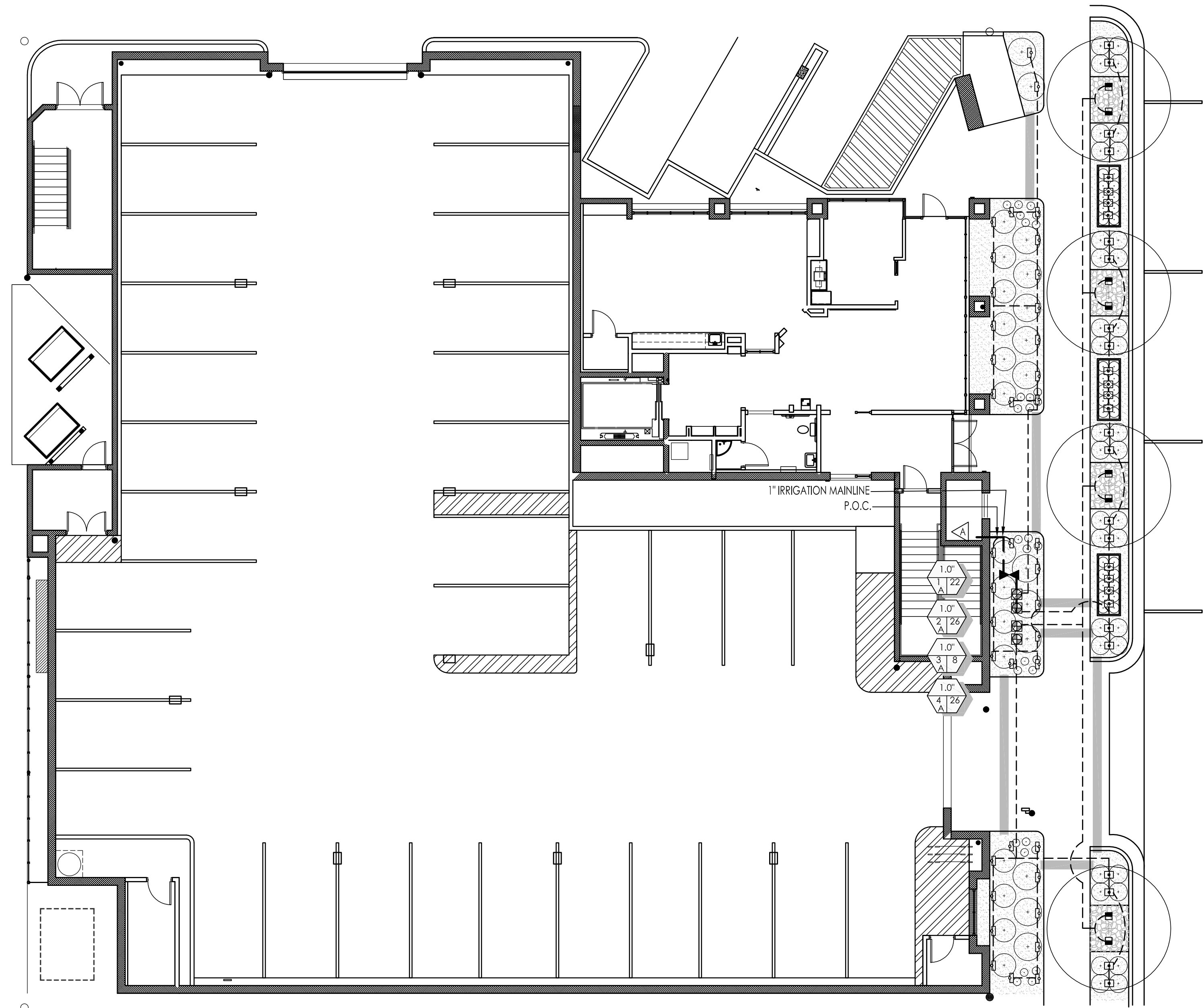
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SHEET NO.

8/8/2014

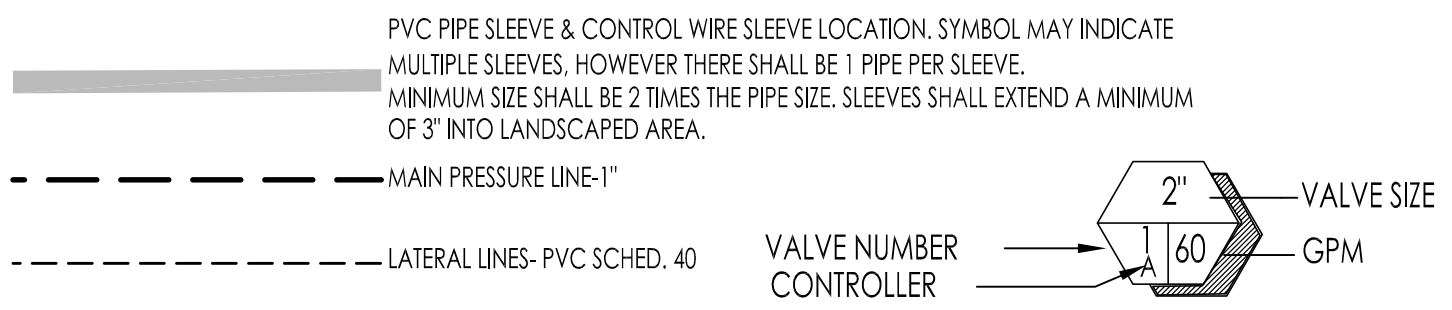
DATE:

2844 Beverly Street  
Salt Lake City, Utah 84106  
P 801 209 1072  
E reid.mitchell@gmail.com



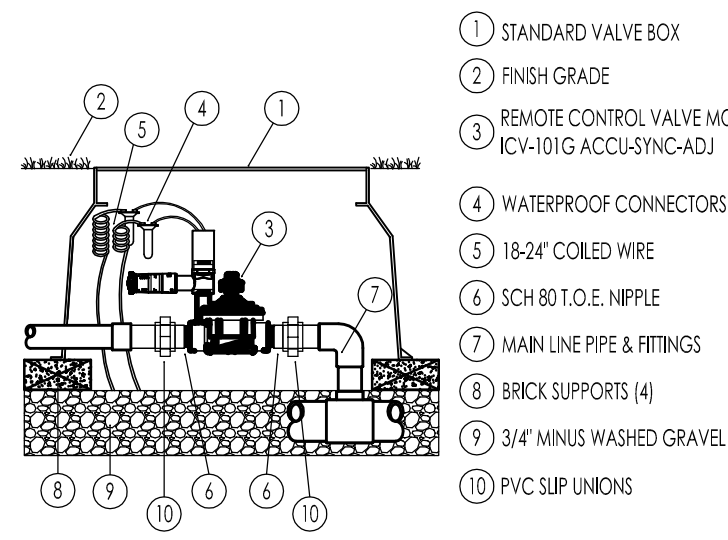
**IRRIGATION SCHEDULE**

| SYMBOL   | DESCRIPTION                | MANUFACTURER       | MODEL NUMBER    | PSI                                                                                    | RADIUS | GPM  |
|----------|----------------------------|--------------------|-----------------|----------------------------------------------------------------------------------------|--------|------|
| [Symbol] | BUBBLER                    | HUNTER             | PROS-4-MSBN-10H | 40                                                                                     | 18"    | 1.00 |
| [Symbol] | BUBBLER                    | HUNTER             | PROS-4-MSBN-10F | 40                                                                                     | 12"    | 1.00 |
| [Symbol] | BUBBLER                    | HUNTER             | PROS-4-MSBN-10H | 40                                                                                     | 18"    | 1.00 |
| [Symbol] | FLOW SENSOR                | HUNTER             | FLOW-CLK        | WIRED TO CLOCK                                                                         |        |      |
| [Symbol] | RAIN SENSOR                | HUNTER             | RAIN-CLK        | WIRED TO CLOCK                                                                         |        |      |
| [Symbol] | AUTOMATIC VALVE            | HUNTER             | ICV-101G-AS-ADJ |                                                                                        |        |      |
| [Symbol] | CONTROLLERS                | HUNTER             | PCC-9           | CONTRACTOR TO MAKE 110 V ELEC. CONNECTION IN BOX IN FIRE RISER CLOSEST ON STREET LEVEL |        |      |
| [Symbol] | 1" PRESSURE VACUUM BREAKER | WILKINS MODEL 720A |                 |                                                                                        |        |      |

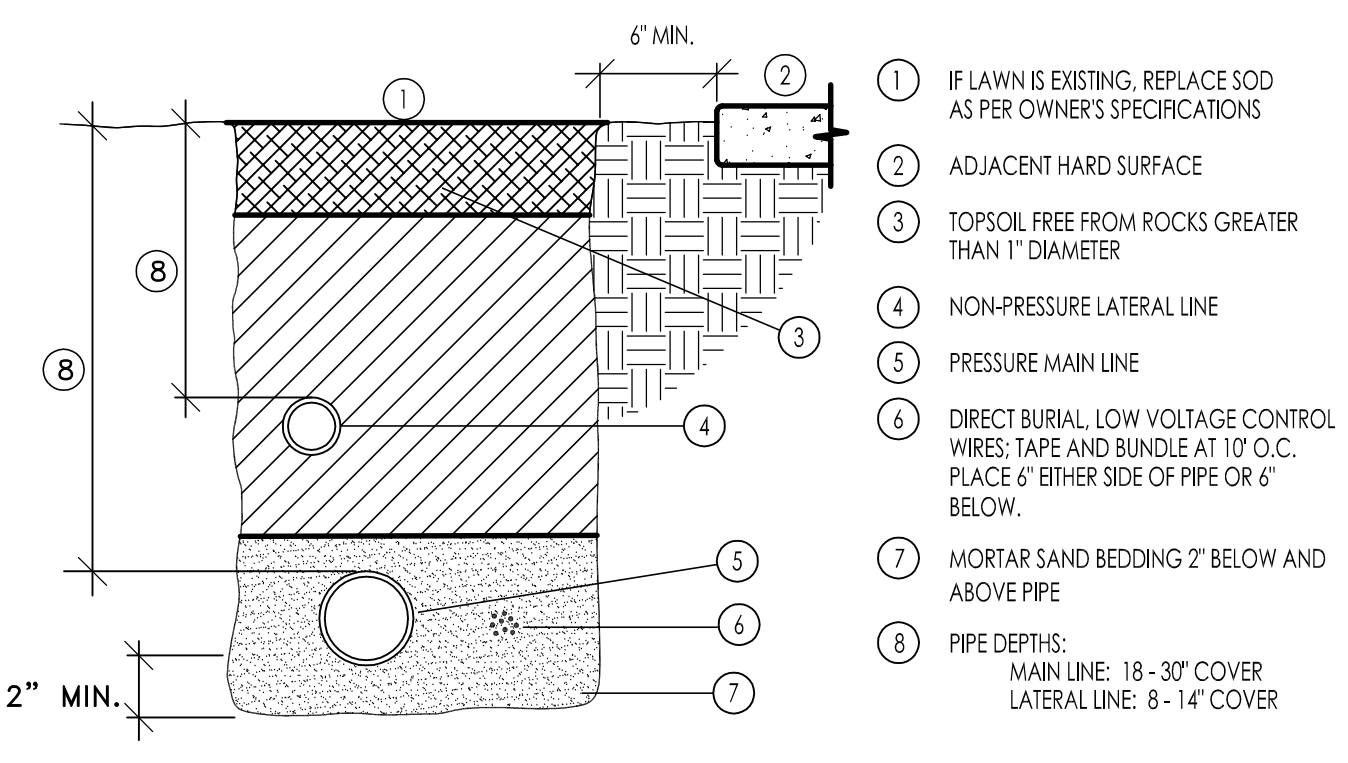


**LATERAL LINE PIPE SIZING CHART**

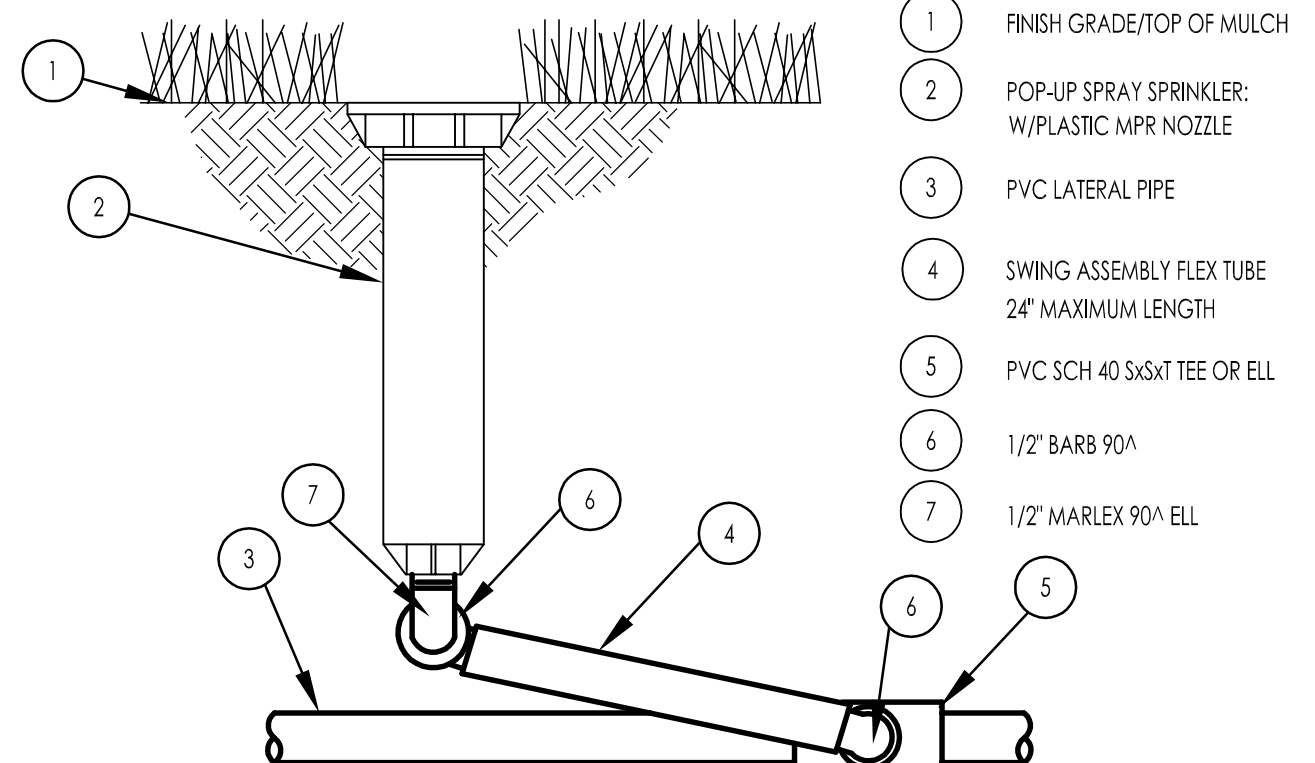
| GPM 0-8 | GPM 9-12 | GPM 13-22 | GPM 23-35 | GPM 36-50 |
|---------|----------|-----------|-----------|-----------|
| 3/4"    | 1"       | 1-1/4"    | 1-1/2"    | 2"        |



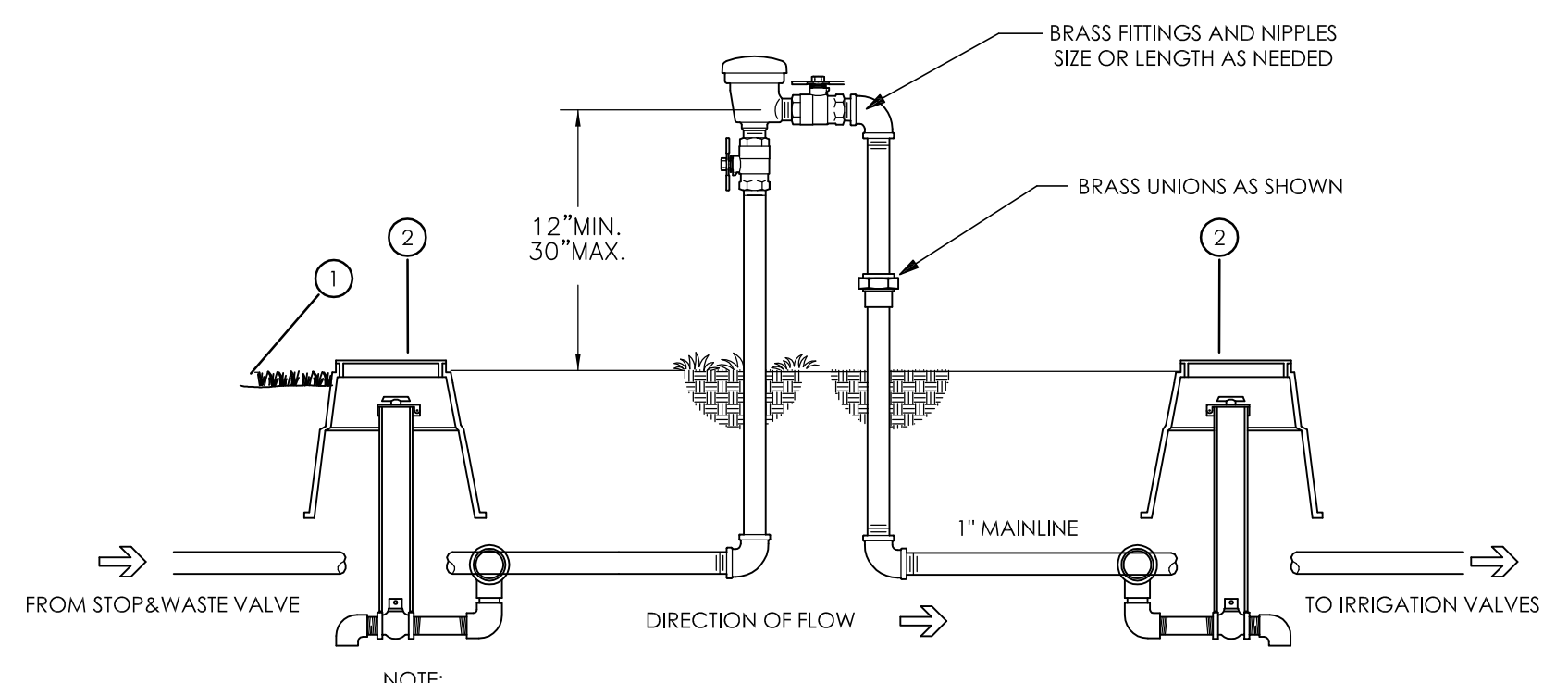
**Irrigation Valve**



**Trench Detail**



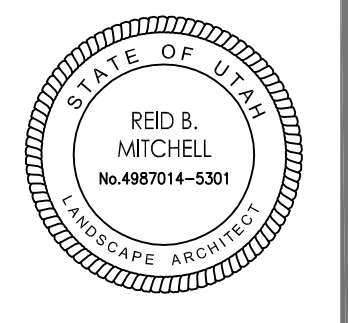
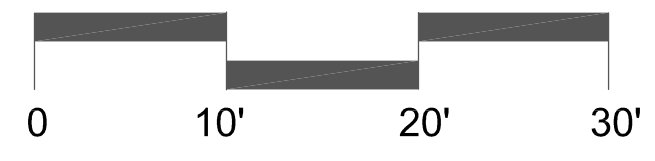
**Pop-up Head Tree Bubbler**



**Pressure Vacuum Breaker**

**IRRIGATION SYSTEM NOTES**

- WORK SHALL CONFORM WITH SALT LAKE CITY STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED IN THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER COVERAGE OF ALL IRRIGATED AREAS.
- THE DISTRIBUTION UNIFORMITY OF THIS IRRIGATION SYSTEM IS AS FOLLOWS:  
— 80% DU FOR FIXED SPRAY SYSTEM  
OVERALL EFFICIENCY OF SYSTEM SHALL BE 80%
- NO MAJOR REVISIONS IN THE DESIGN WILL BE ALLOWED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT & OWNER.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADES, LOCATION OF WALKS, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERAL LINES THROUGH WALLS, AND UNDER ROADWAYS AND PAVED AREAS. SLEEVES INSTALLED AT IMPROPER DEPTHS WILL HAVE TO BE RE-INSTALLED BY BORING METHODS.
- DO NOT WILLFULLY INSTALL THE IRRIGATION AS SHOWN ON THE PLAN WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, DIFFERENCES IN GRADE AND AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED DURING THE INITIAL DESIGN PHASE. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS OR CHANGE ORDERS.
- 120V AC ELECTRICAL POWER SOURCE AT THE CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER. REFER TO THE SPECIFICATIONS FOR THE EXACT ELECTRICAL REQUIREMENTS.
- THE IRRIGATION CONTRACTOR SHALL ADJUST VALVES, FLUSH AND ADJUST IRRIGATION HEADS FOR OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS AND WALLS.
- THE OWNER RESERVES THE RIGHT TO REFUSE MATERIAL OR WORK WHICH DOES NOT CONFORM TO THESE DRAWINGS AND SPECIFICATIONS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AS SOON AS POSSIBLE AT CONTRACTOR'S EXPENSE.
- GUARANTEE: ALL WORK SHALL BE GUARANTEED (FOR ONE YEAR FROM DATE OF ACCEPTANCE) AGAINST ALL DEFECTS IN MATERIAL, EQUIPMENT AND WORKMANSHIP. GUARANTEE SHALL ALSO COVER REPAIR FOR DAMAGE TO ANY PART OF THE PREMISES RESULTING FROM LEAKS OR OTHER DEFECTS IN MATERIAL, EQUIPMENT OR WORKMANSHIP, TO THE SATISFACTION OF THE OWNER. REPAIRS, IF REQUIRED, SHALL BE DONE PROMPTLY AND AT NO COST TO THE OWNER.
- INSTALL CONTROLLERS AS NOTED. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING CONDUITS AND WIRING FROM VALVES TO CONTROLLERS.
- THIS SPRINKLER PLAN IS DRAWN FOR GRAPHIC CLARITY WHERE PIPING, VALVES AND WIRING ARE SHOWN IN CONC. AND ASPHALT AREAS, EXCEPT WHERE CROSSING. THE INTENT IS FOR THE PIPING, VALVES AND WIRE TO BE PLACED IN THE ADJACENT PLANTING AREAS.
- THIS PROJECT WAS DESIGNED USING THE BMPS FROM "SLC LANDSCAPE BMPS FOR WATER RECOURCE EFFICIENCY AND PROTECTION" MANUAL. THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THIS MANUAL AND APPLY BMPS IN THE INSTALLATION AND MAINTENANCE OF THIS LANDSCAPE.
- CONTRACTOR SHALL SUBMIT AN IRRIGATION WATERING SCHEDULE TO ARCHITECT FOR APPROVAL PRIOR TO REQUIRED WATER AUDIT.



STAMP

**Ball Park Senior Housing Landscape Plan**

REVISIONS

**Street Level Irrigation Plan**

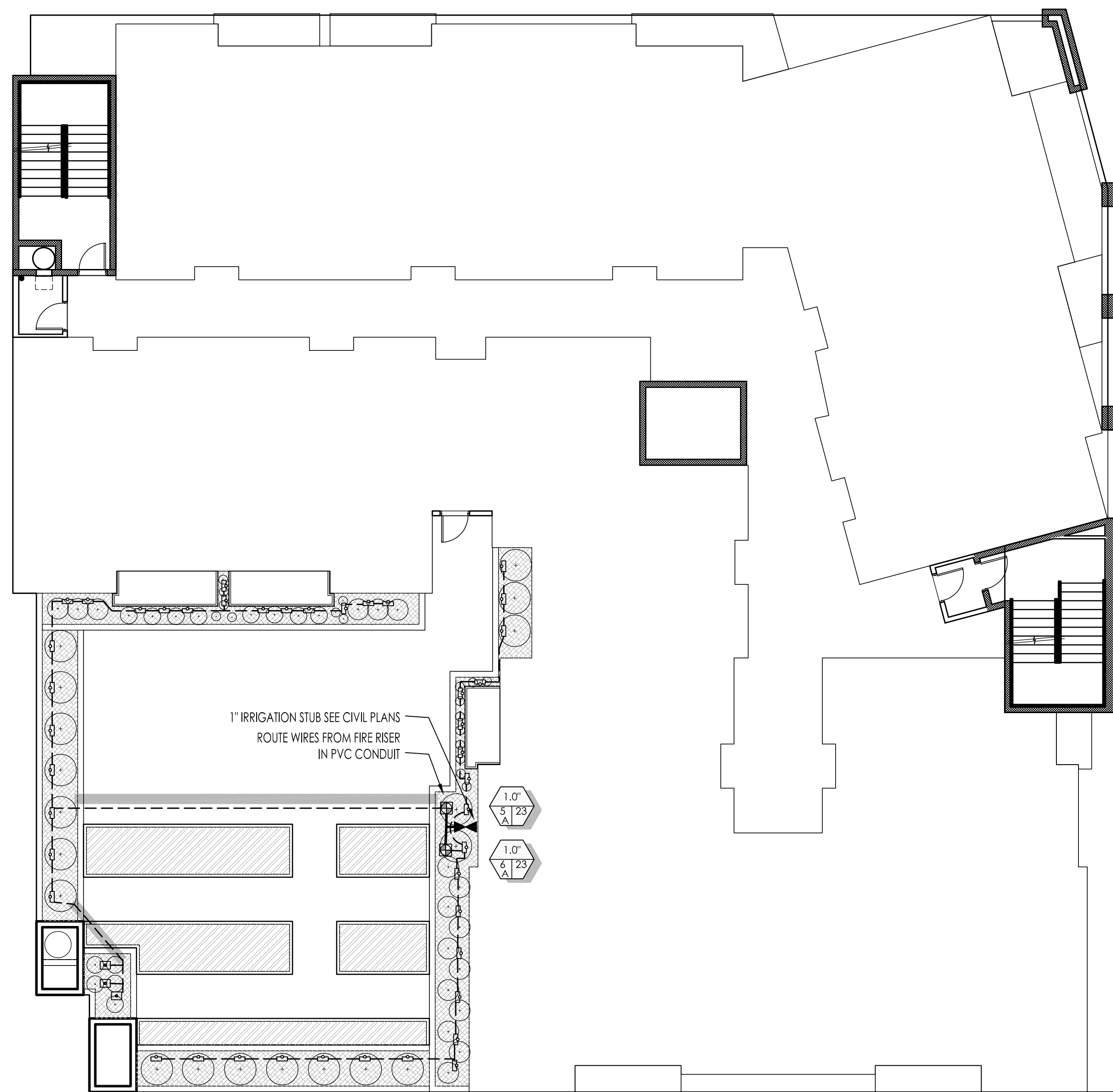
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**IR-100**

SHEET NO. 8/8/2014  
DATE

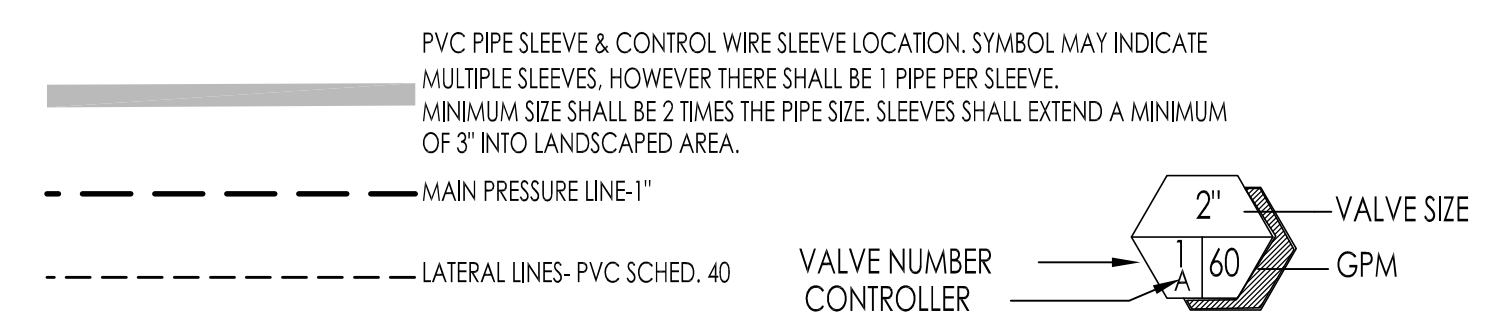
2844 Beverly Street  
Salt Lake City, Utah 84106  
P 801 209 1072  
E reid.mitchell@gmail.com

1380 S. West Temple  
Salt Lake City, Utah



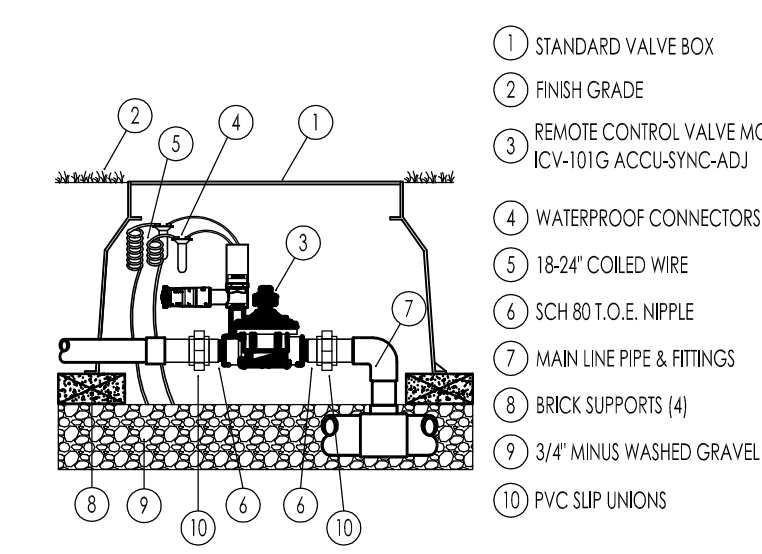
### IRRIGATION SCHEDULE

| SYMBOL | DESCRIPTION                | MANUFACTURER       | MODEL NUMBER    | PSI                                                                                   | RADIUS | GPM  |
|--------|----------------------------|--------------------|-----------------|---------------------------------------------------------------------------------------|--------|------|
|        | BUBBLER                    | HUNTER             | PROS-4-MSBN-10H | 40                                                                                    | 18"    | 1.00 |
|        | BUBBLER                    | HUNTER             | PROS-4-MSBN-10F | 40                                                                                    | 12"    | 1.00 |
|        | BUBBLER                    | HUNTER             | PROS-4-MSBN-10H | 40                                                                                    | 18"    | 1.00 |
|        | FLOW SENSOR                | HUNTER             | FLOW-CLK        | WIRED TO CLOCK                                                                        |        |      |
|        | RAIN SENSOR                | HUNTER             | RAIN-CLK        | WIRED TO CLOCK                                                                        |        |      |
|        | AUTOMATIC VALVE            | HUNTER             | ICV-101G-AS-ADJ |                                                                                       |        |      |
|        | CONTROLLERS                | HUNTER             | PCC-9           | CONTRACTOR TO MAKE 110 V ELEC. CONNECTION IN BOX IN FIRE RISER CLOSET ON STREET LEVEL |        |      |
|        | 1" PRESSURE VACUUM BREAKER | WILKINS MODEL 720A |                 |                                                                                       |        |      |

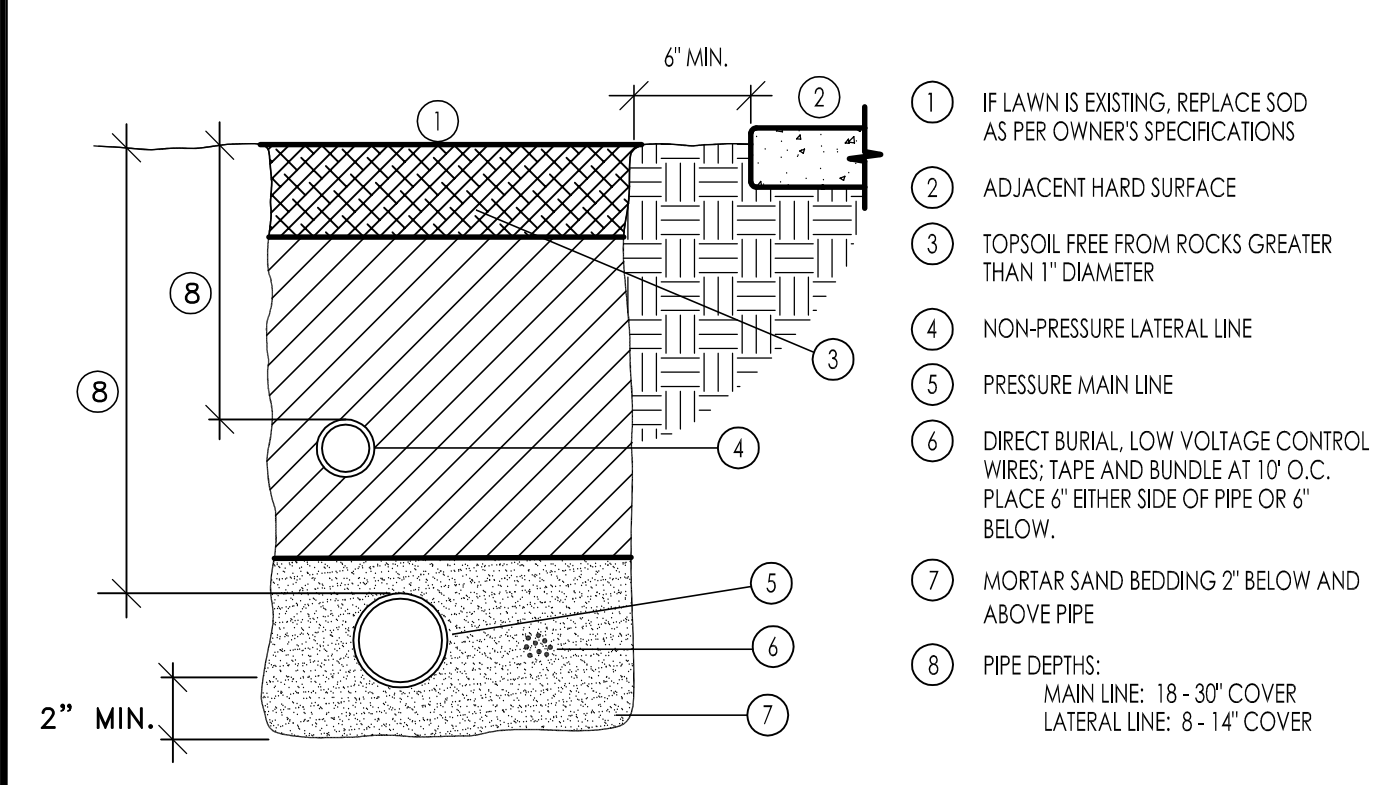


#### LATERAL LINE PIPE SIZING CHART

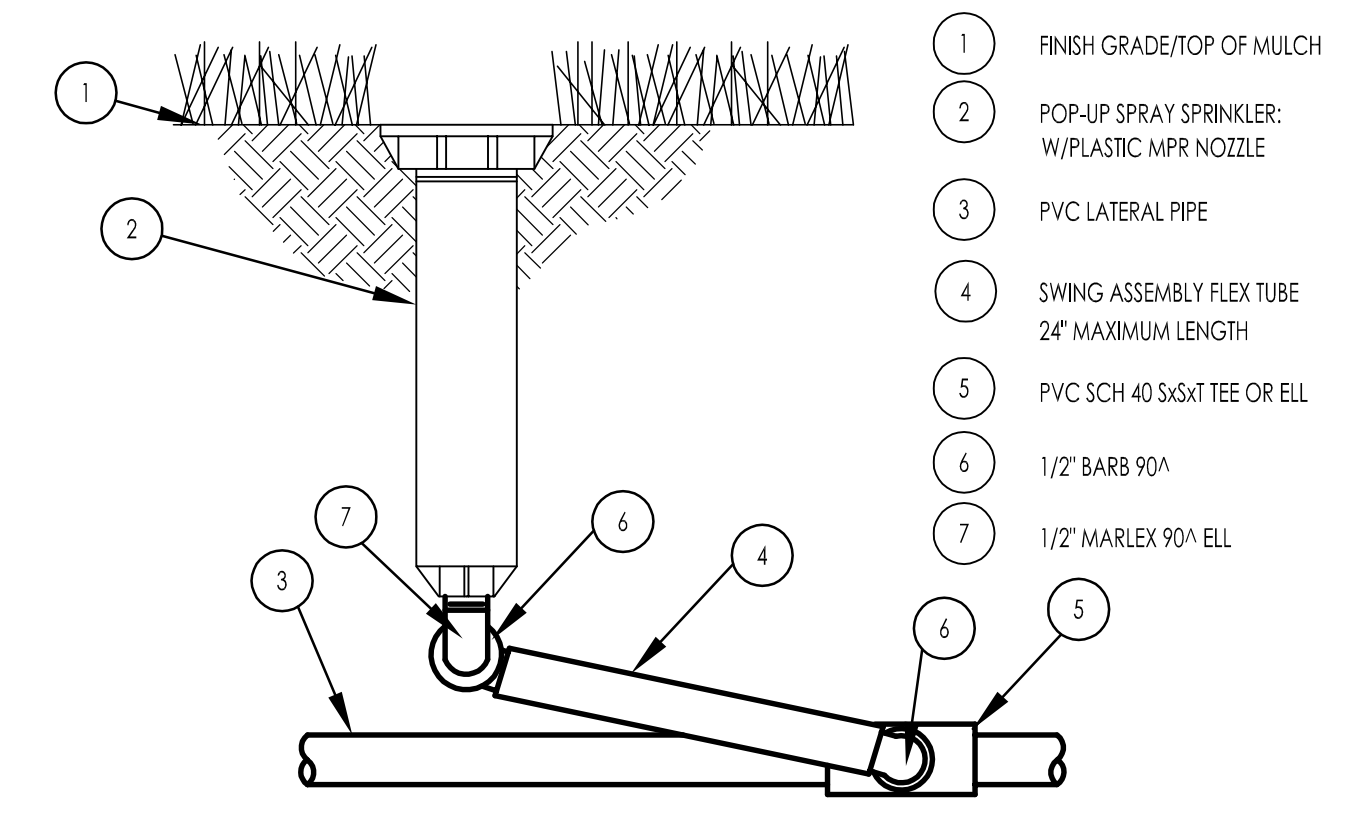
| GPM 0-8 | GPM 9-12 | GPM 13-22 | GPM 23-35 | GPM 36-50 |
|---------|----------|-----------|-----------|-----------|
| 3/4"    | 1"       | 1-1/4"    | 1-1/2"    | 2"        |



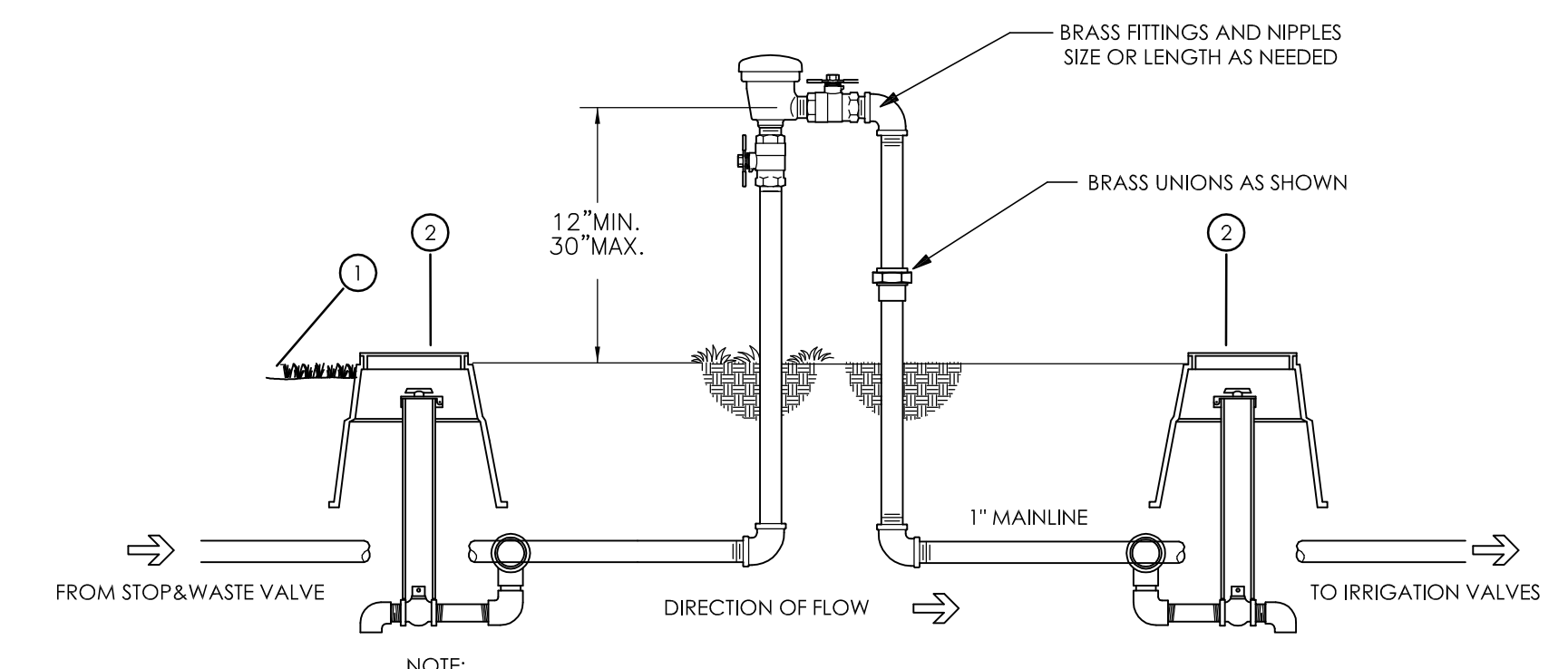
**Irrigation Valve**



**Trench Detail**



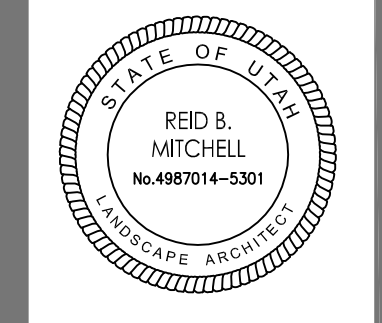
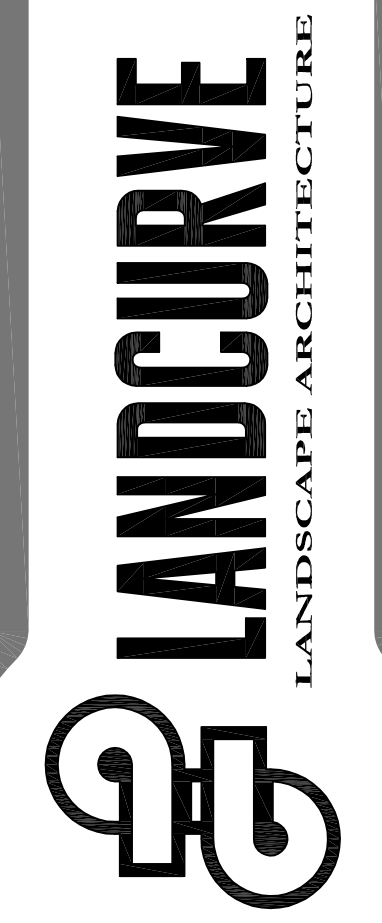
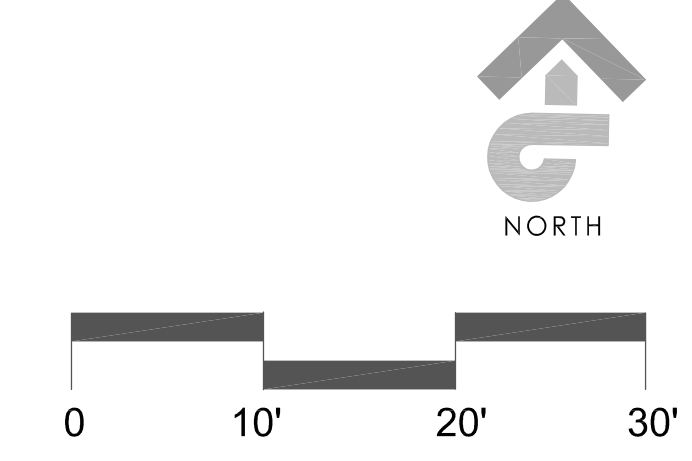
**Pop-up Head Tree Bubbler**



**Pressure Vacuum Breaker**

### IRRIGATION SYSTEM NOTES

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- CONTRACTOR SHALL SUBMIT AN IRRIGATION WATERING SCHEDULE TO ARCHITECT FOR APPROVAL PRIOR TO REQUIRED WATER AUDIT.



STAMP

## Ball Park Senior Housing Landscape Plan

REVISIONS

### Podium Level Irrigation Plan

SHEET NAME

**IR-101**

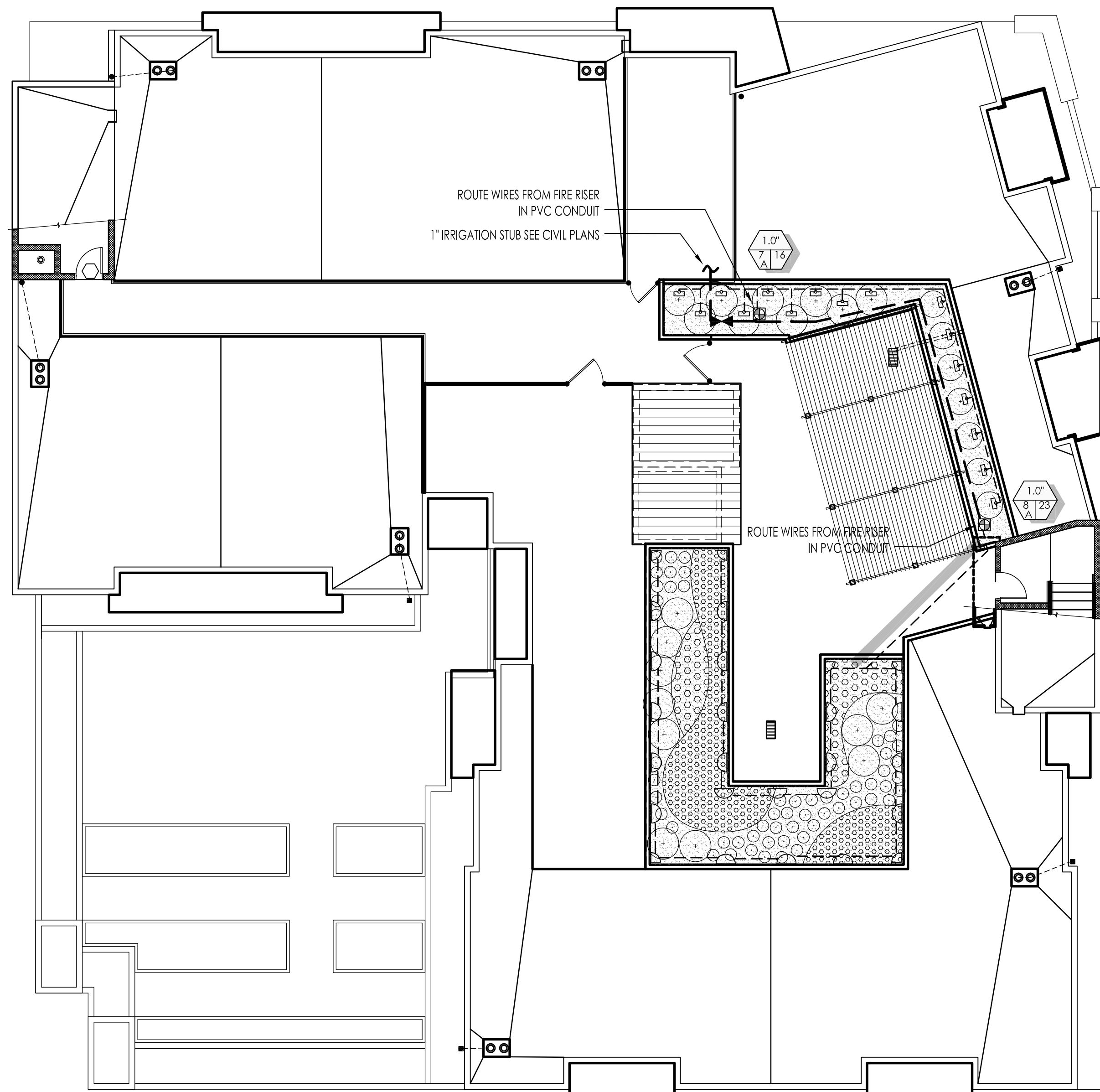
SHEET NO.

8/8/2014  
DATE

1380 S. West Temple  
Salt Lake City, Utah

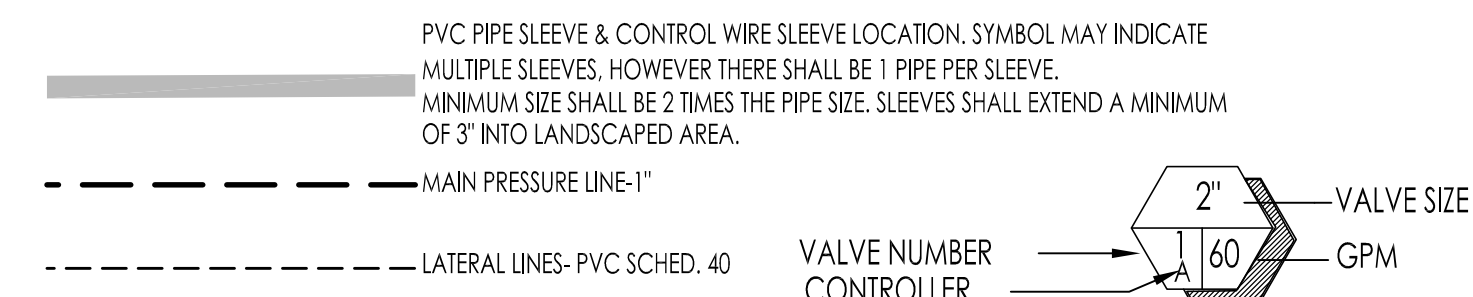
2844 Beverly Street  
Salt Lake City, Utah 84106  
P 801 209 1072  
E reid.mitchell@gmail.com





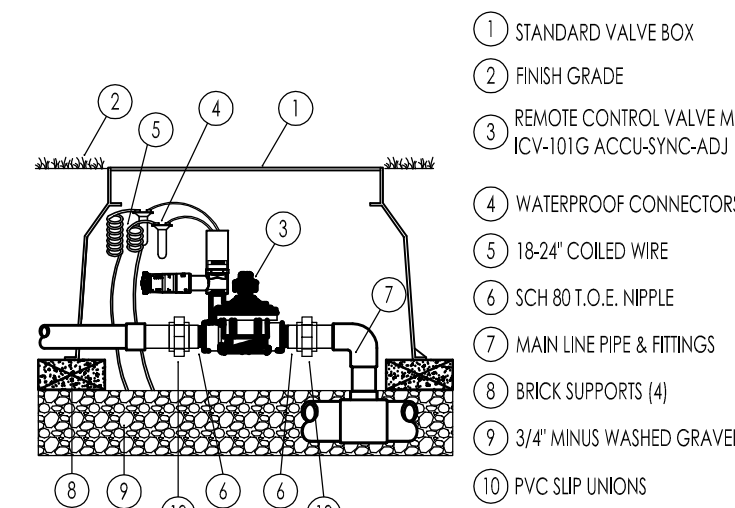
### IRRIGATION SCHEDULE

| SYMBOL | DESCRIPTION                | MANUFACTURER       | MODEL NUMBER    | PSI                                                                                   | RADIUS | GPM  |
|--------|----------------------------|--------------------|-----------------|---------------------------------------------------------------------------------------|--------|------|
|        | BUBBLER                    | HUNTER             | PROS-4-MSBN-10H | 40                                                                                    | 18"    | 1.00 |
|        | SPRAY                      | HUNTER             | PROS-6-6H       | 40                                                                                    | 6'     | 1.00 |
|        | SPRAY                      | HUNTER             | PROS-6-6Q       | 40                                                                                    | 6'     | 0.50 |
|        | FLOW SENSOR                | HUNTER             | FLOW-CLK        | WIRED TO CLOCK                                                                        |        |      |
|        | RAIN SENSOR                | HUNTER             | RAIN-CLK        | WIRED TO CLOCK                                                                        |        |      |
|        | AUTOMATIC VALVE            | HUNTER             | ICV-101G-AS-ADJ |                                                                                       |        |      |
|        | CONTROLLERS                | HUNTER             | PCC-9           | CONTRACTOR TO MAKE 110 V ELEC. CONNECTION IN BOX IN FIRE RISER CLOSET ON STREET LEVEL |        |      |
|        | 1" PRESSURE VACUUM BREAKER | WILKINS MODEL 720A |                 |                                                                                       |        |      |

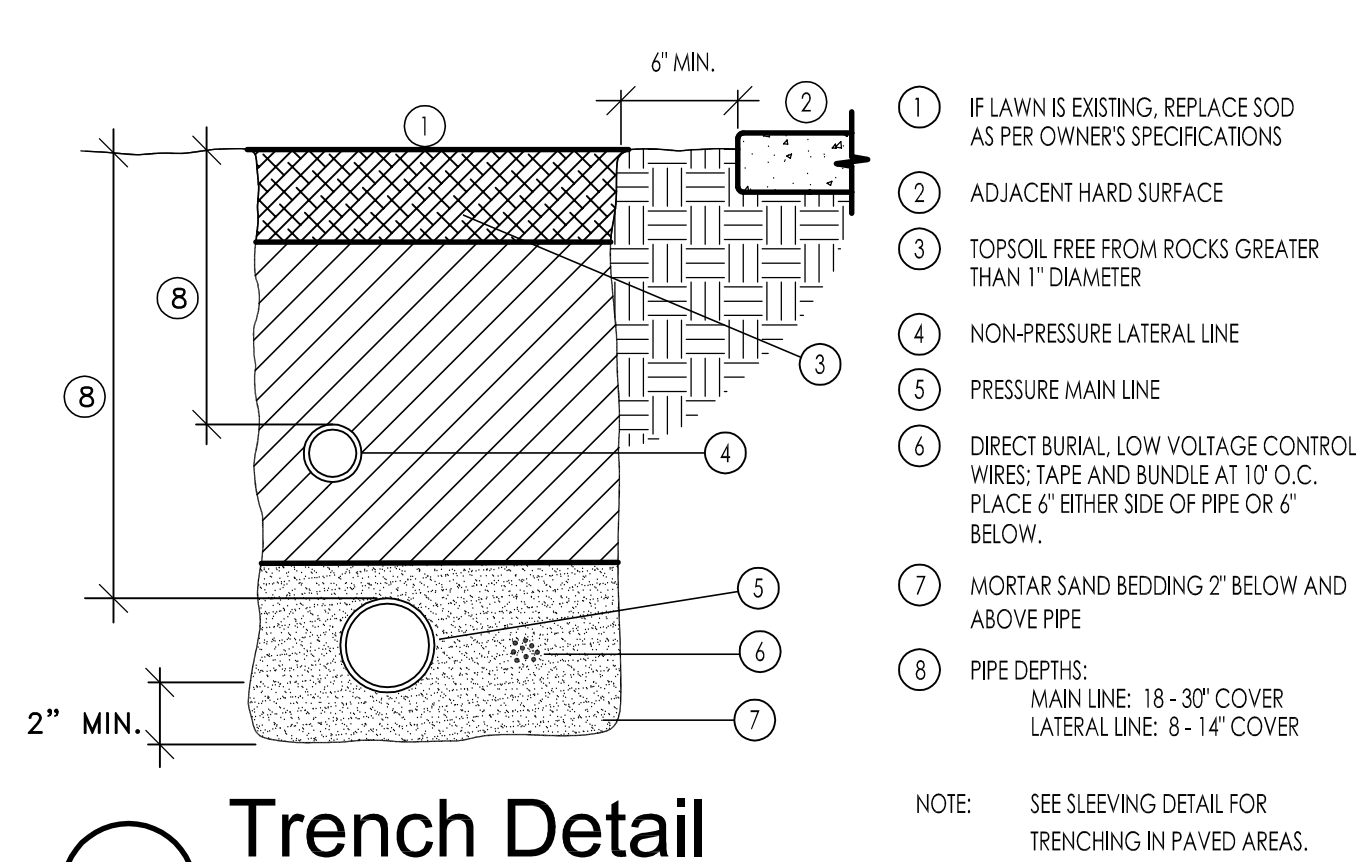


LATERAL LINE PIPE SIZING CHART

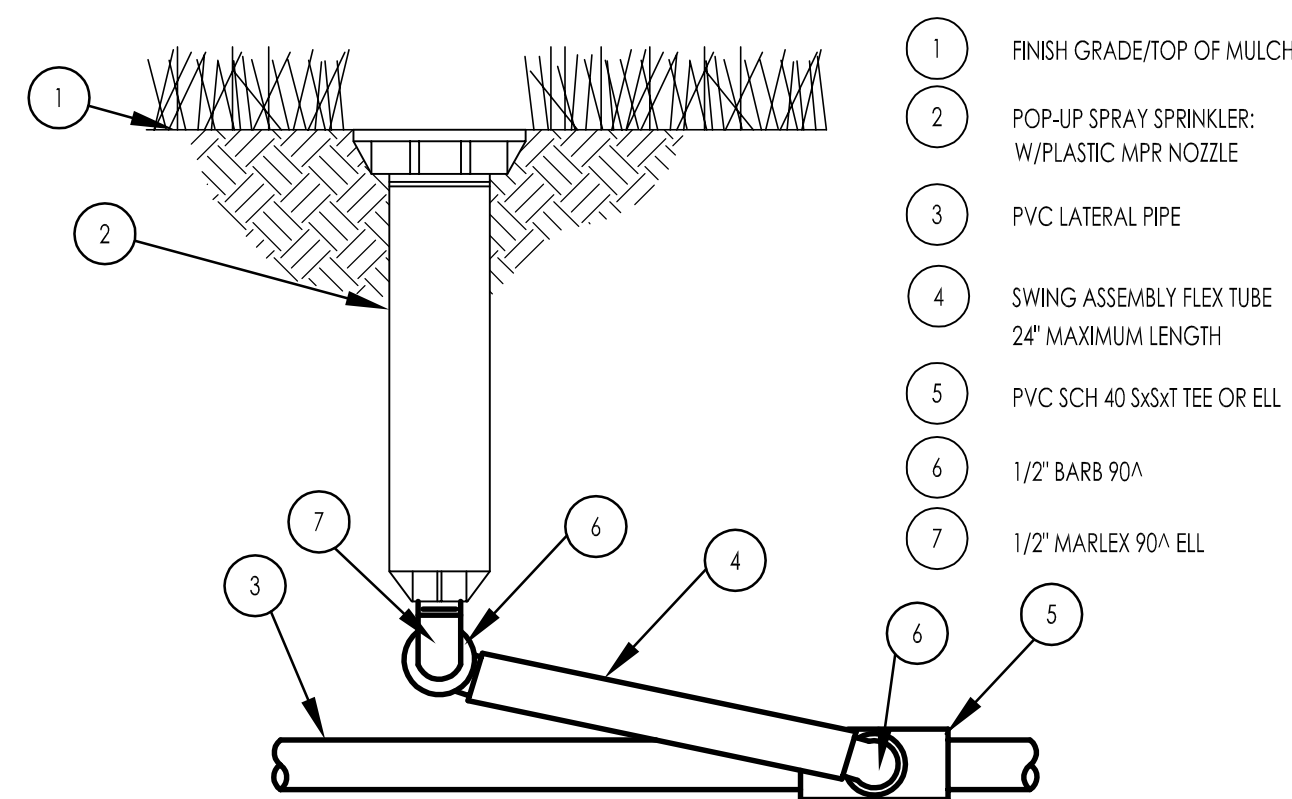
| GPM 0-8 | GPM 9-12 | GPM 13-22 | GPM 23-35 | GPM 36-50 |
|---------|----------|-----------|-----------|-----------|
| 3/4"    | 1"       | 1-1/4"    | 1-1/2"    | 2"        |



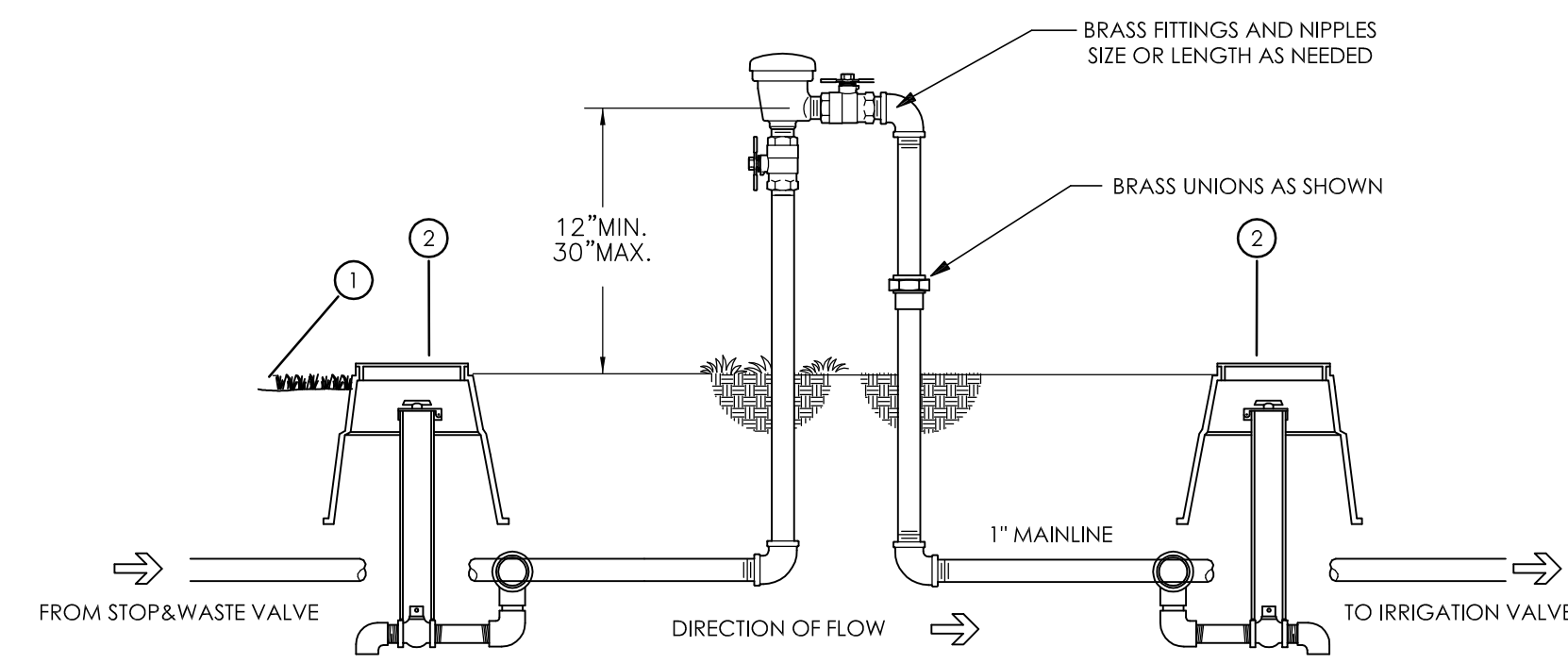
1 IRRIGATION VALVE



1 TRENCH DETAIL



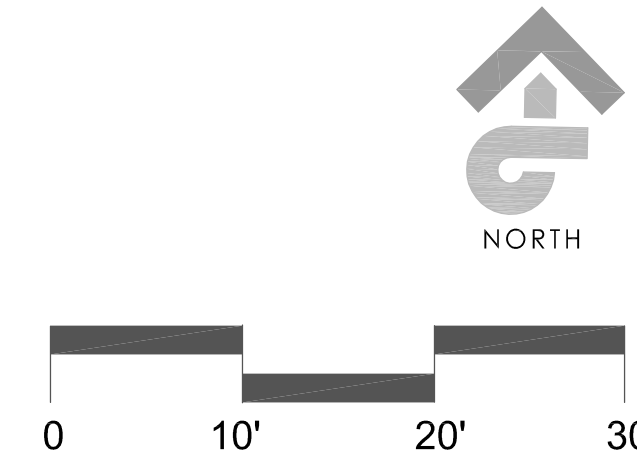
1 POP-UP HEAD TREE BUBBLER



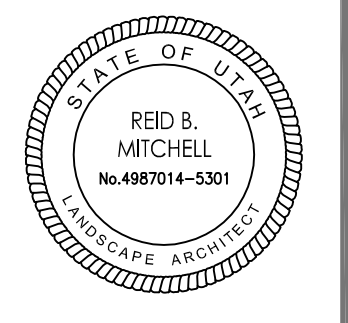
1 PRESSURE VACUUM BREAKER

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**LANDCURVE**  
LANDSCAPE ARCHITECTURE



STAMP

**Ball Park Senior Housing Landscape Plan**

REVISIONS

**Second Level Landscape Plan**

SHEET NAME

**IR-102**

SHEET NO. 8/8/2014  
DATE

2844 Beverly Street  
Salt Lake City, Utah 84106  
P 801 209 1072  
F reid.mitchell@gmail.com

1380 S. West Temple  
Salt Lake City, Utah

# **ATTACHMENT D: ELEVATIONS & RENDERINGS**



**A** BUILDING ELEVATION - EAST  
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIAL KEY**

CONC CONCRETE WALL, SMOOTH FINISH

MASONRY BLOCK WALLS  
 CMU-1 STANDARD - BUEHNER BLOCK '465'  
 CMU-2 HONED - BUEHNER BLOCK '465'  
 CMU-3 SPLIT - BUEHNER BLOCK '610'

BRK 4" EMPOWER SIZE BRICK - INTERSTATE BRICK SAND

EIFS E.I.F.S., PAINTED

**ELEVATION KEYED NOTES**

E101 POUR-IN-PLACE CONCRETE WALL, SMOOTH FINISH  
 E102 CONCRETE MASONRY BLOCK  
 E103 BRICK VENEER  
 E104 BRICK ACCENT, COURSE HELD OUT 1" FURTHER  
 E105 CONCRETE PODIUM  
 E106 EQUIPMENT, SEE CONSULTANT DRAWINGS  
 E107 EIFS FACADE, PAINTED  
 E108 EXTRUDED EIFS ACCENT  
 E109 PARAPET WALL  
 E110 STANDING SEAM METAL ROOF  
 E111 ALUMINUM STOREFRONT WINDOW/ DOOR SYSTEM  
 E112 SCHEDULED WINDOW SYSTEM  
 E113 SCHEDULED DOOR SYSTEM  
 E114 7' TALL GARAGE DOOR, PERFORATED SECTIONS  
 E115 RAISED METAL LETTERING  
 E116 METAL FRAMED DECK W/ CONCRETE SURFACE  
 E117 PREFORMED PARAPET CAP FLASHING  
 E118 METAL RAILING  
 E119 PREFORMED METAL ROOF PANEL  
 E120 CHAIN LINK FENCE W/ PRIVACY SLATS  
 E121 PREFORMED METAL DOWNSPOUT  
 E122 1" REVEAL  
 E123 CMU CONTROL JOINT  
 E124 METAL LOUVER  
 E125 FAUX STOREFRONT SYSTEM

**ELEVATION CALCULATIONS**

21A.24.170.J ENTRANCE AND VISUAL ACCESS

21A.24.170.J.1 MIN. FIRST FLOOR GLASS > 40%  
 EAST FACADE (W. TEMPLE) = 1205 S.F.  
 REQUIRED (1205\*0.40) = 482 S.F.  
 PROV. (100+102+24+75+100+100) = 501 S.F.

NORTH FACADE (ALBERMARLE AVENUE) = 1316 S.F.  
 REQUIRED (1316\*0.40) = 527 S.F.  
 PROV. (180+102+102+140+136+46) = 566 S.F.

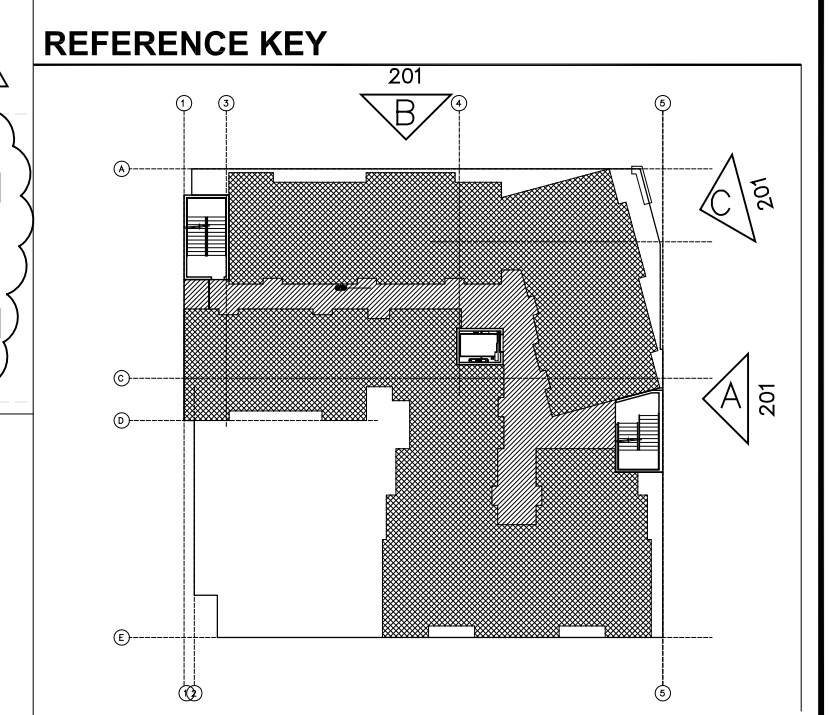
NOTE:  
 THE AREA OF EACH GLAZING ASSEMBLY IS PROVIDED ON ITS SURFACE



**C** BUILDING ELEVATION - NORTHEAST  
SCALE: 1/8" = 1'-0"



**B** BUILDING ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"



**BALL PARK APARTMENTS**  
 1380 SOUTH WEST TEMPLE ST.  
 SALT LAKE CITY, UTAH

DATE: 2014-10-21

ADDENDUM #1 BUDGET CHANGES  
 ADDENDUM #2 OWNER CHANGES  
 CITY REVIEW COMMENTS

SHEET #  
**A201**



**A** BUILDING ELEVATION - WEST  
SCALE: 1/8" = 1'-0"



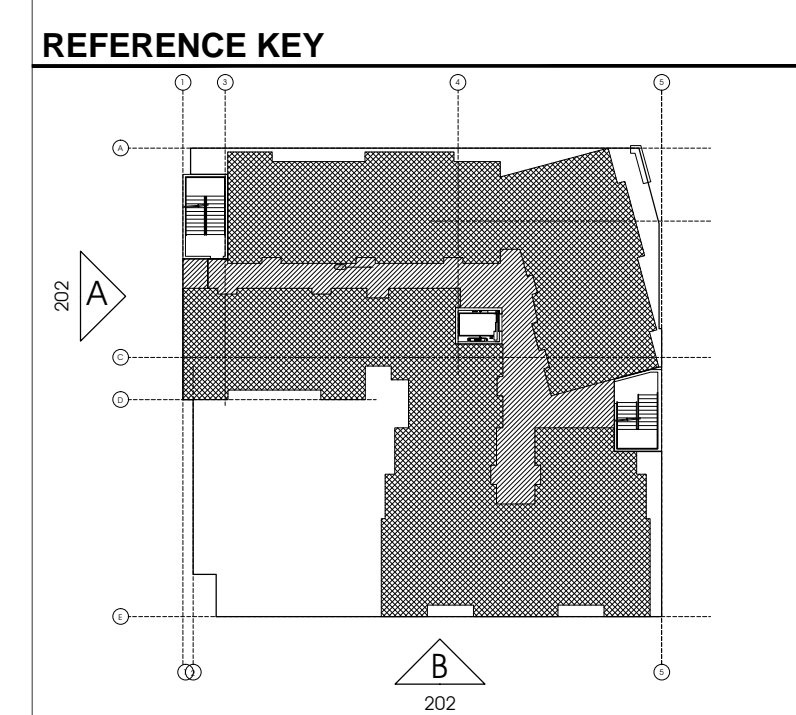
**B** BUILDING ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIAL KEY**

|                                      |                                                        |
|--------------------------------------|--------------------------------------------------------|
| CONC                                 | CONCRETE WALL, SMOOTH FINISH                           |
| MASONRY BLOCK WALLS                  |                                                        |
| CMU-1                                | STANDARD - BUEHNER BLOCK '445'                         |
| CMU-2                                | HONED - BUEHNER BLOCK '445'                            |
| CMU-3                                | SPLIT - BUEHNER BLOCK '610'                            |
| BRK                                  | 4" EMPORER SIZE BRICK - INTERSTATE BRICK 'DESERT SAND' |
| EIFS                                 |                                                        |
| E.I.F.S., PAINTED                    |                                                        |
| COLORS LOCATED ON COLOR DRAWING A203 |                                                        |

**ELEVATION KEYED NOTES**

|        |                                            |
|--------|--------------------------------------------|
| (E101) | POUR-IN-PLACE CONCRETE WALL, SMOOTH FINISH |
| (E102) | CONCRETE MASONRY BLOCK                     |
| (E103) | BRICK VENEER                               |
| (E104) | BRICK ACCENT, COURSE HELD OUT 1" FURTHER   |
| (E105) | CONCRETE PODIUM                            |
| (E106) | EQUIPMENT, SEE CONSULTANT DRAWINGS         |
| (E107) | EIFS FACADE, PAINTED                       |
| (E108) | EXTRUDED EIFS ACCENT                       |
| (E109) | PARAPET WALL                               |
| (E110) | STANDING SEAM METAL ROOF                   |
| (E111) | ALUMINUM STOREFRONT WINDOW/DOOR SYSTEM     |
| (E112) | SCHEDULED WINDOW SYSTEM                    |
| (E113) | SCHEDULED DOOR SYSTEM                      |
| (E114) | 7' TALL GARAGE DOOR, PERFORATED SECTIONS   |
| (E115) | RAISED METAL LETTERING                     |
| (E116) | METAL FRAMED DECK W/ CONCRETE SURFACE      |
| (E117) | PREFORMED PARAPET CAP FLASHING             |
| (E118) | METAL RAILING                              |
| (E119) | PREFORMED METAL ROOF PANEL                 |
| (E120) | CHAIN LINK FENCE W/ PRIVACY SLATS          |
| (E121) | PREFORMED METAL DOWNSPOUT                  |
| (E122) | 1" REVEAL                                  |



**WILSON MOULTON**  
**studio** ARCHITECTURE

residential | commercial | institutional | community  
3206 Sunset Hollow Drive | Bountiful, Utah 84010  
801.296.2899 | design@wilsonmoulton.com

**BALL PARK APARTMENTS**  
1380 South West Temple St.  
Salt Lake City, Utah

PROJECT #01327

DATE: 06.16.2014

SHEET #  
**A202**



# Ball Park Apartments

1380

1380

DISCLAIMER:  
THIS DOCUMENT CONTAINS CONFIDENTIAL AND PROPRIETARY INFORMATION THAT CANNOT BE REPRODUCED OR DIVULGED, IN WHOLE OR IN PART, WITHOUT WRITTEN AUTHORIZATION FROM SUMMIT HOUSING GROUP.  
ALL GRAPHIC INFORMATION PROVIDED BY SUMMIT HOUSING GROUP (SHG) AND SUMMIT MANAGEMENT GROUP (SMG) TO LOCAL, STATE, AND FEDERAL AGENCIES ARE, TO THE BEST OF THEIR ABILITY, ACCURATE REPRESENTATIONS OF THE DESIGN INTENT. DUE TO CHANGES REQUESTED BY THE CITY, SITE CONSTRAINTS, AND NECESSARY DESIGN CHANGES, THE FINAL DESIGN MAY DIFFER FROM WHAT IS REPRESENTED IN THE GRAPHIC.

**BALL PARK APARTMENTS**  
1380 SOUTH WEST TEMPLE, SALT LAKE CITY, UTAH





1380

ENTRANCE

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# BALL PARK APARTMENTS

1380 SOUTH WEST TEMPLE, SALT LAKE CITY, UTAH





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STATE AND FEDERAL AGENCIES ARE TO THE BEST OF THEIR ABILITY ACCURATE REPRESENTATIONS OF THE CURRENT  
DUE TO CHANGING REQUIREMENTS, LOCAL SITE CONSTRAINTS AND NECESSARY DESIGN CHANGES, THE FINAL DESIGN MAY  
DIFFER FROM WHAT IS REPRESENTED BY THE GRAPHIC.

## BALL PARK APARTMENTS

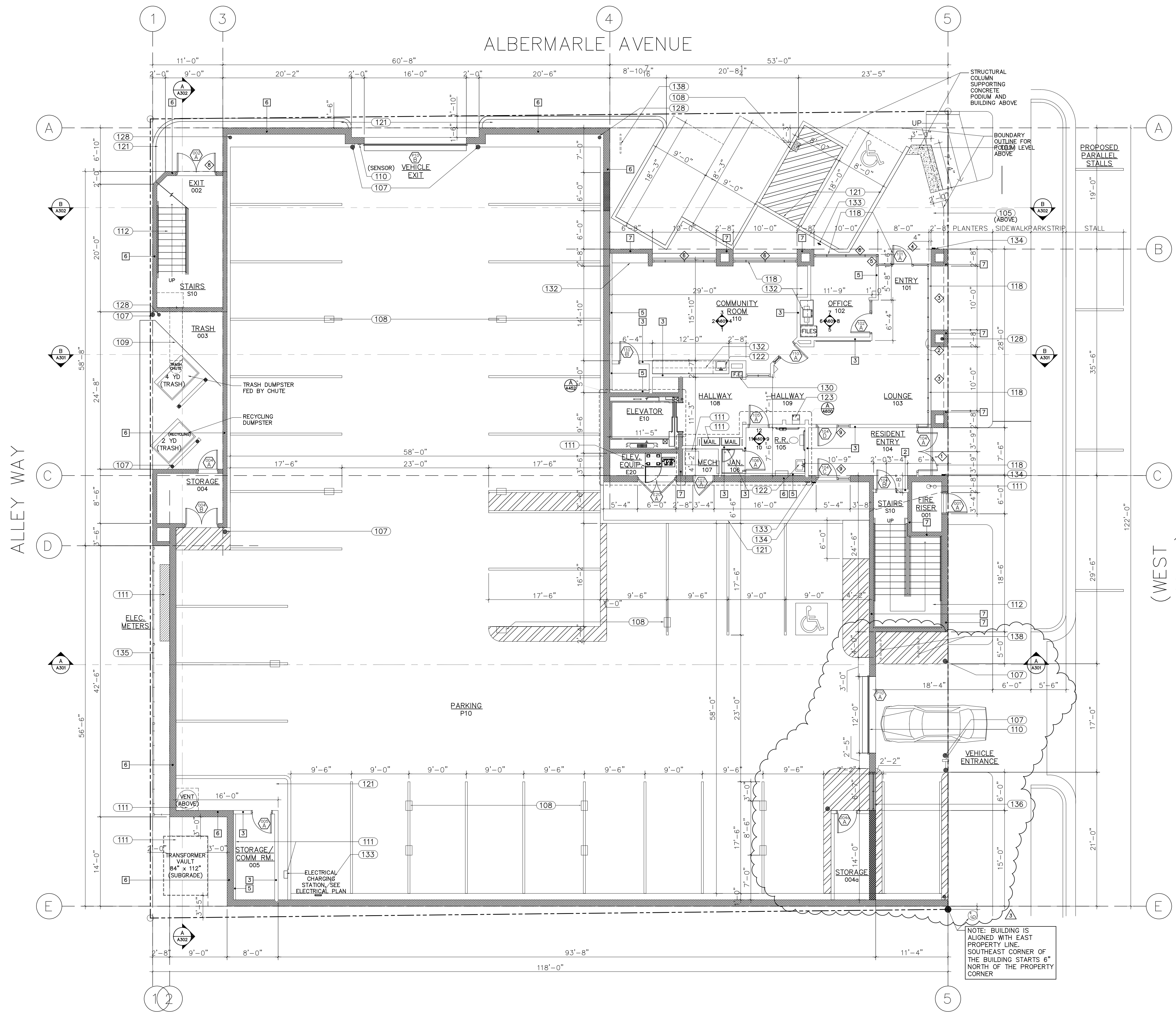
1380 SOUTH WEST TEMPLE, SALT LAKE CITY, UTAH



**ATTACHMENT E: FLOOR PLANS**

---





**A STREET LEVEL PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND PRODUCT SIZES ON SITE
- DIMENSIONS MEASURE DISTANCE TO FINISHED FRAMING FOR INTERIOR WALLS, U.N.O.
- DIMENSIONS TO OUTSIDE OF EXTERIOR WALLS ARE TO FACE OF EXTERIOR SHEATHING
- SILL PLATES AND ALL WOOD STRUCTURE THAT CONNECT TO CONCRETE TO BE PRESSURE TREATED OR REDWOOD
- ANY GUARDRAILS, INTERIOR OR EXTERIOR, SHALL HAVE A TOP RAIL AT 42" HIGH. THE INTERMEDIATE RAILS SHALL BE CONSTRUCTED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH
- HANDRAILS ARE REQUIRED ON ALL STAIRWAYS, AND PLACED AT 36" O.C. ABOVE STAIR NOSING
- RUNNING CONTINUOUSLY
- HANDRAIL ENDS SHALL RETURN TO WALL OR EXTEND PAST LAST TREAD NOSE BY LENGTH OF TREAD
- GLAZING USED IN PANELS AND DOORS FOR SHOWERS AND BATHTUB ENCLOSURES MUST BE TEMPERED
- PROVIDE CAULKING AND MIN. 9" COUNTER FLASHING AT ALL EXTERIOR WINDOWS AND DOORS. EGRESS/ RESCUE WINDOWS REQUIRED TO BE 5.7 SQ. FT. CLEAR OPEN WITH MINIMUM NET CLEAR OPENING WIDTH OF 20" AND A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A FINISHED SILL HEIGHT NOT TO EXCEED 44" ABOVE FLOOR. ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM PENETRATING THE BUILDING ENVELOPE.

**PLAN KEYED NOTES**

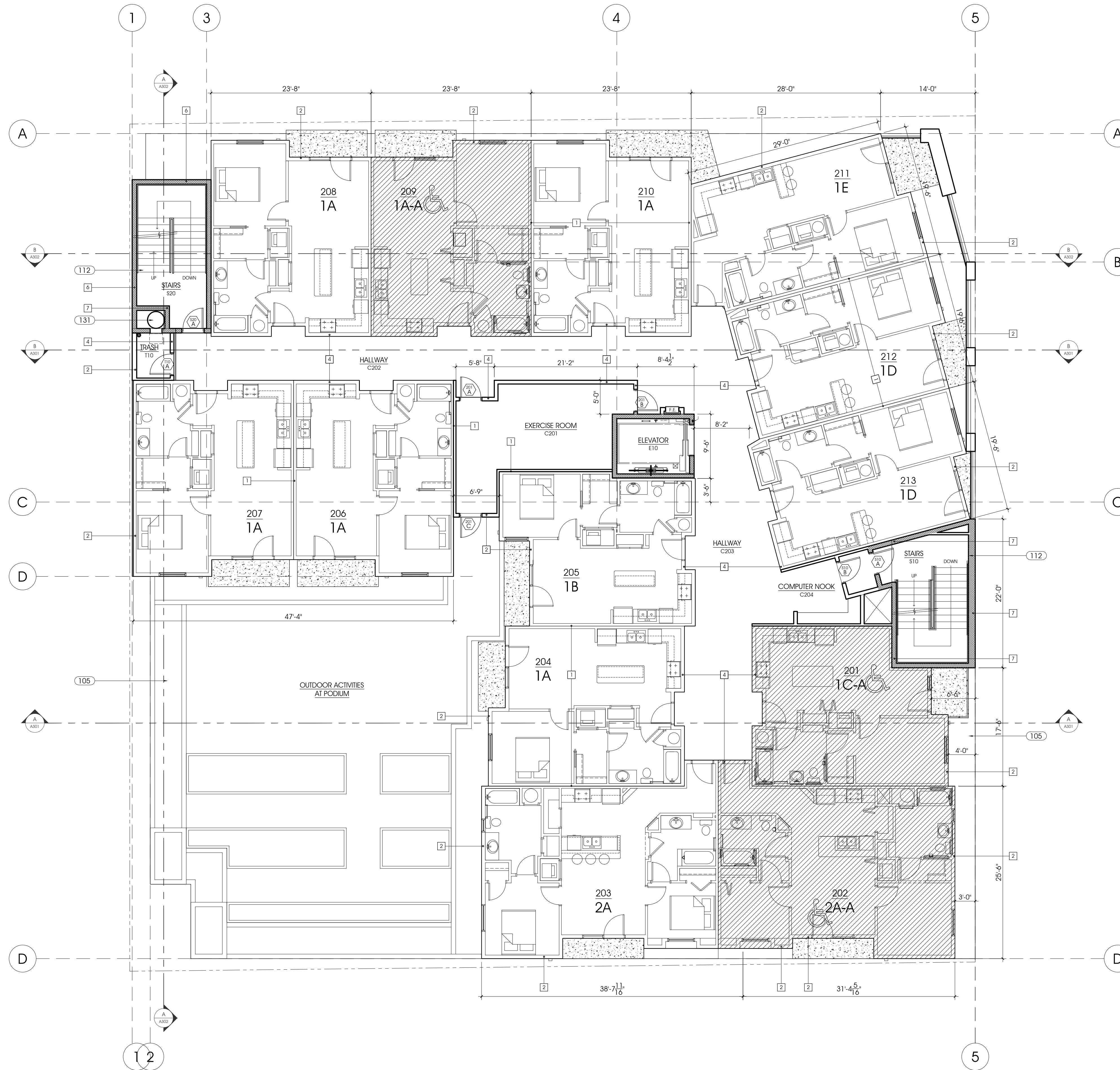
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- (102) CONCRETE MASONRY BLOCK
- (103) BRICK VENEER
- (104) BRICK ACCENT
- (105) CONCRETE PODIUM
- (106) EQUIPMENT, SEE CONSULTANT DRAWINGS
- (107) 4" CONCRETE BOLLARD
- (108) PARKING STRUCTURE CONCRETE COLUMN
- (109) TRASH CONTAINERS & STORAGE
- (110) KEY CARD ACCESS OVERHEAD GARAGE DOOR
- (111) UTILITY EQUIPMENT
- (112) STEEL STAIR SYSTEM WITH CONCRETE TREADS
- (113) METAL HANDRAIL AND GUARDRAIL (W/A)
- (114) MASONRY ELEVATOR SHAFT
- (115) RESIDENT PORCH W/ LIGHTWEIGHT CONCRETE TOP
- (116) BEAM, SEE STRUCTURAL
- (117) CEILING DROP/ FURRED DOWN
- (118) ALUMINUM STOREFRONT WINDOW/ DOOR SYSTEM
- (119) SCHEDULED WINDOW SYSTEM
- (120) SCHEDULED DOOR SYSTEM
- (121) CONCRETE CURB AND SIDEWALK, SEE CIVIL DRAWINGS
- (122) PLUMBING FIXTURE
- (123) ADA ACCESSIBLE DRINKING FOUNTAIN
- (124) GARDEN RETAINING, SEE LANDSCAPE DRAWINGS
- (125) 60 MIL. TPO ROOFING MEMBRANE, WHITE
- (126) STANDING SEAM METAL ROOF
- (127) METAL SHADING DEVICE
- (128) ROOF DRAIN W/ OVERFLOW DRAIN TO DOWNSPOUT
- (129) FIELD DRAIN
- (130) FIRE EXTINGUISHER W/ RECESSED CABINET
- (131) 30" TRASH CHUTE ASSEMBLY W/ 24"x18" PULL-DOWN DOOR CABINERY/ MILLWORK, SEE INTERIOR ELEVATIONS
- (132) GROUND-MOUNTED BIKE RACK

**ASSEMBLY NOTES**

- PART 1 - WALL**
- 1 (2) 2x6 OR 2x4 WALLS SEPARATED BY 1" AIRSPACE. SEE STRUCTURAL
  - 2 SOUND BATT INSULATION & 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE. SCHEDULED SHEATHING ON INTERIOR CAVITY, SEE STRUCTURAL
  - 3 2x6 WOOD STUD - (FIRE TREATED)
  - R-21 CLOSED CELL BLOW-IN INSULATION
  - (2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD (INT) (FIRE-TREATED)
  - (1) SCHEDULED EXTERIOR SHEATHING - (FIRE-TREATED)
  - (1) LAYER 5/8" GYPSUM SHEATHING (EXT)
  - 4 TYVEK BUILDING WRAP W/ SCHEDULED EXTERIOR FINISH - MASONRY BRICK VENEER/ E.I.F.S.
- INTERIOR WALL - BEARING**
- 5 2x4 STUD WALL W/ SOUND INSULATION
  - 1/2" BOARD GYPSUM BOARD ON FINISHED SIDE
- INTERIOR WALL**
- 6 2x6 WOOD STUD WALL INTERIOR BEARING
  - SOUND INSULATION & 5/8" TYPE 'X' GYP. BD. EACH SIDE
- EXTERIOR WALL**
- 7 2x4 WOOD STUD WALL
  - SOUND INSULATION & 1/2" GYPSUM BOARD EACH SIDE
- FLOOR / CEILING ASSEMBLY**
- F1 16" CONCRETE PODIUM W/ SCHEDULED ROOF SHEATHING
  - SEE ELEVATIONS FOR STYLE & MANUFACTURER
  - F2 12" TJI WOOD FLOOR JOIST
  - 3/4" 1x6 FLOOR SHEATHING W/ 1-1/2" GYP-CRE TOPPING
  - BATT INSULATION
  - (2) LAYERS 1/2" TYPE 'X' GYPSUM BOARD CEILING
  - F3 16" TJI CEILING JOISTS, SLOPED FOR THE ROOF
  - SCHEDULED ROOF SHEATHING
  - 60 MIL. TPO ROOFING MEMBRANE, WHITE
  - W/ R-38 CAVITY INSULATION
  - (2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD CEILING

**BALL PARK APARTMENTS**  
1380 SOUTH WEST TEMPLE ST.  
SALT LAKE CITY, UTAH

DATE: 2014-10-21  
 ADDENDUM #1 BUDGET CHANGES  
 ADDENDUM #2 OWNER CHANGES  
 CITY REVIEW COMMENTS  
 SHEET # **A100**



**2nd LEVEL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

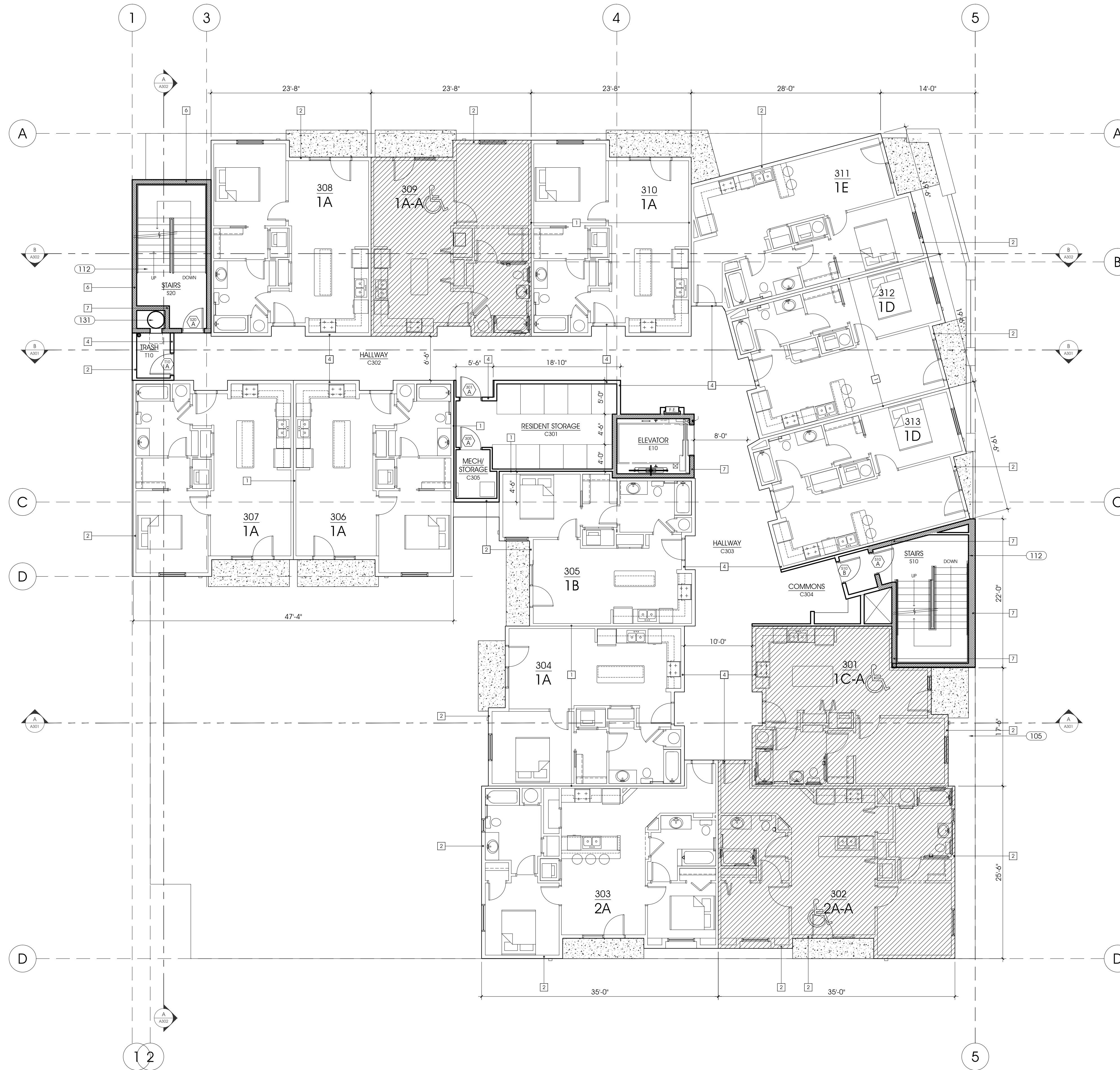
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND PRODUCT SIZES ON SITE
- DIMENSIONS MEASURED DISTANCE TO FINISHED FRAMING FOR INTERIOR WALLS, U.N.O.
- DIMENSIONS TO OUTSIDE OF EXTERIOR WALLS ARE TO FACE OF EXTERIOR SHEATHING
- SILL PLATES AND ALL WOOD STRUCTURE THAT CONNECT TO CONCRETE TO BE PRESSURE TREATED OR REDWOOD
- ANY GUARDRAILS, INTERIOR OR EXTERIOR, SHALL HAVE A TOP RAIL AT 42" HIGH. THE INTERMEDIATE RAILS SHALL BE CONSTRUCTED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH
- HANDRAILS ARE REQUIRED ON ALL STAIRWAYS, AND PLACED AT 36" O.C. ABOVE STAIR NOSING RUNNING CONTINUOUSLY
- HANDRAIL ENDS SHALL RETURN TO WALL OR EXTEND PAST LAST TREAD NOSE BY LENGTH OF TREAD
- GLAZING USED IN PANELS AND DOORS FOR SHOWERS AND BATHTUB ENCLOSURES MUST BE TEMPERED
- PROVIDE CAULKING AND MIN. 9" COUNTER FLASHING AT ALL EXTERIOR WINDOWS AND DOORS
- EGRESS/ RESCUE WINDOWS REQUIRED TO BE 5.7 SQ. FT. CLEAR OPEN WITH MINIMUM NET CLEAR OPENING WIDTH OF 20" AND A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A FINISHED SILL HEIGHT NOT TO EXCEED 44" ABOVE FLOOR
- ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS. THE FLASHING SHALL BE CORROSION-RESISTANT W/ A 1/2" DRIP ANGLE EXTENDING PAST THE FINISH EDGE.

**PLAN KEYED NOTES**

- (101) POUR-IN-PLACE CONCRETE WALL
- (102) CONCRETE MASONRY BLOCK
- (103) BRICK VENEER
- (104) BRICK ACCENT
- (105) CONCRETE PODIUM
- (106) EQUIPMENT, SEE CONSULTANT DRAWINGS
- (107) 4" CONCRETE BOLLARD
- (108) PARKING STRUCTURE CONCRETE COLUMN
- (109) TRASH CONTAINERS & STORAGE
- (110) KEY CARD ACCESS OVERHEAD GARAGE DOOR
- (111) UTILITY EQUIPMENT
- (112) STEEL STAIR SYSTEM WITH CONCRETE TREADS
- (113) METAL HANDRAIL AND GUARDRAIL (W/A)
- (114) MASONRY ELEVATOR SHAFT
- (115) RESIDENT PORCH W/ LIGHTWEIGHT CONCRETE TOP
- (116) BEAM, SEE STRUCTURAL
- (117) CEILING DROP/ FURRED DOWN
- (118) ALUMINUM STOREFRONT WINDOW/ DOOR SYSTEM
- (119) SCHEDULED WINDOW SYSTEM
- (120) SCHEDULED DOOR SYSTEM
- (121) CONCRETE CURB AND SIDEWALK, SEE CIVIL DRAWINGS
- (122) PLUMBING FIXTURE
- (123) ADA ACCESSIBLE DRINKING FOUNTAIN
- (124) GARDEN RETAINING, SEE LANDSCAPE DRAWINGS
- (125) 60 MIL. TPO ROOFING MEMBRANE, WHITE
- (126) STANDING SEAM METAL ROOF
- (127) METAL SHADING DEVICE
- (128) ROOF DRAIN W/ OVERFLOW DRAIN TO DOWNSPOUT
- (129) FIELD DRAIN
- (130) FIRE EXTINGUISHER W/ RECESSED CABINET
- (131) 30" TRASH CHUTE ASSEMBLY W/ 24"x18" PULL-DOWN DOOR
- (132) CABINETRY/ MILLWORK, SEE INTERIOR ELEVATIONS
- 133 SIGNAGE, POLE OR WALL MOUNTED
- (134) H.C. METAL PUSH PANEL
- (135) 6' CHAINLINK FENCE W/ ACCESS GATES AS REQUIRED
- (136) METAL LOUVER TO VENT GARAGE, SEE MECHANICAL
- (137) GROUND-MOUNTED BIKE RACK

**ASSEMBLY TYPES**

- PARTY WALL**
- (1) 2x6 OR 2x4 WALLS SEPARATED BY 1" AIRSPACE. SEE STRUCTURAL SOUND BATT INSULATION & 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE SCHEDULED SHEATHING ON INTERIOR CAVITY, SEE STRUCTURAL
- EXTERIOR WALL**
- (2) 2x6 WOOD STUD - (FIRE TREATED) R-21 CLOSED CELL BLOWN-IN INSULATION (2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD (IND) (1) SCHEDULED EXTERIOR SHEATHING - (FIRE-TREATED) (1) LAYER 5/8" GYPSUM SHEATHING (EXT) TYPEK BUILDING WRAP W/ SCHEDULED EXTERIOR FINISH - MASONRY BRICK VENEER/ E.I.F.S.
- INTERIOR WALL**
- (3) 2x STUD WALL W/ SOUND INSULATION 1/2" BOARD GYPSUM BOARD ON FINISHED SIDE
- INTERIOR WALL - BEARING**
- (4) 2x6 WOOD STUD WALL INTERIOR BEARING SOUND INSULATION & 5/8" TYPE 'X' GYP. BD. EACH SIDE
- INTERIOR WALL**
- (5) 2x4 WOOD STUD WALL SOUND INSULATION & 1/2" GYPSUM BOARD EACH SIDE, U.N.O.
- EXTERIOR WALL**
- (6) 9" CONCRETE WALL, SEE STRUCTURAL FOR REG. SMOOTH FINISH
- EXTERIOR WALL**
- (7) 8" MASONRY BLOCK, SEE STRUCTURAL FOR REG. SEE ELEVATIONS FOR STYLE & MANUFACTURER
- FLOOR/ CEILING ASSEMBLY**
- (F1) 16" CONCRETE PODIUM W/ INCREASED THICKNESS UNDERSLAB AT SOME COLUMNS
- FLOOR/ CEILING ASSEMBLY**
- (F2) 12" TJI WOOD FLOOR JOIST 3/4" T&G FLOOR SHEATHING W/ 1-1/2" GYP-CRETE TOPPING BATT INSULATION (2) LAYERS 1/2" TYPE 'X' GYPSUM BOARD CEILING
- ROOF/ CEILING ASSEMBLY**
- (R1) 16" TJI CEILING JOISTS, SLOPED FOR THE ROOF SCHEDULED ROOF SHEATHING 60 MIL. TPO ROOFING MEMBRANE, WHITE W/ R-38 CAVITY INSULATION (2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD CEILING



**A** 3rd LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

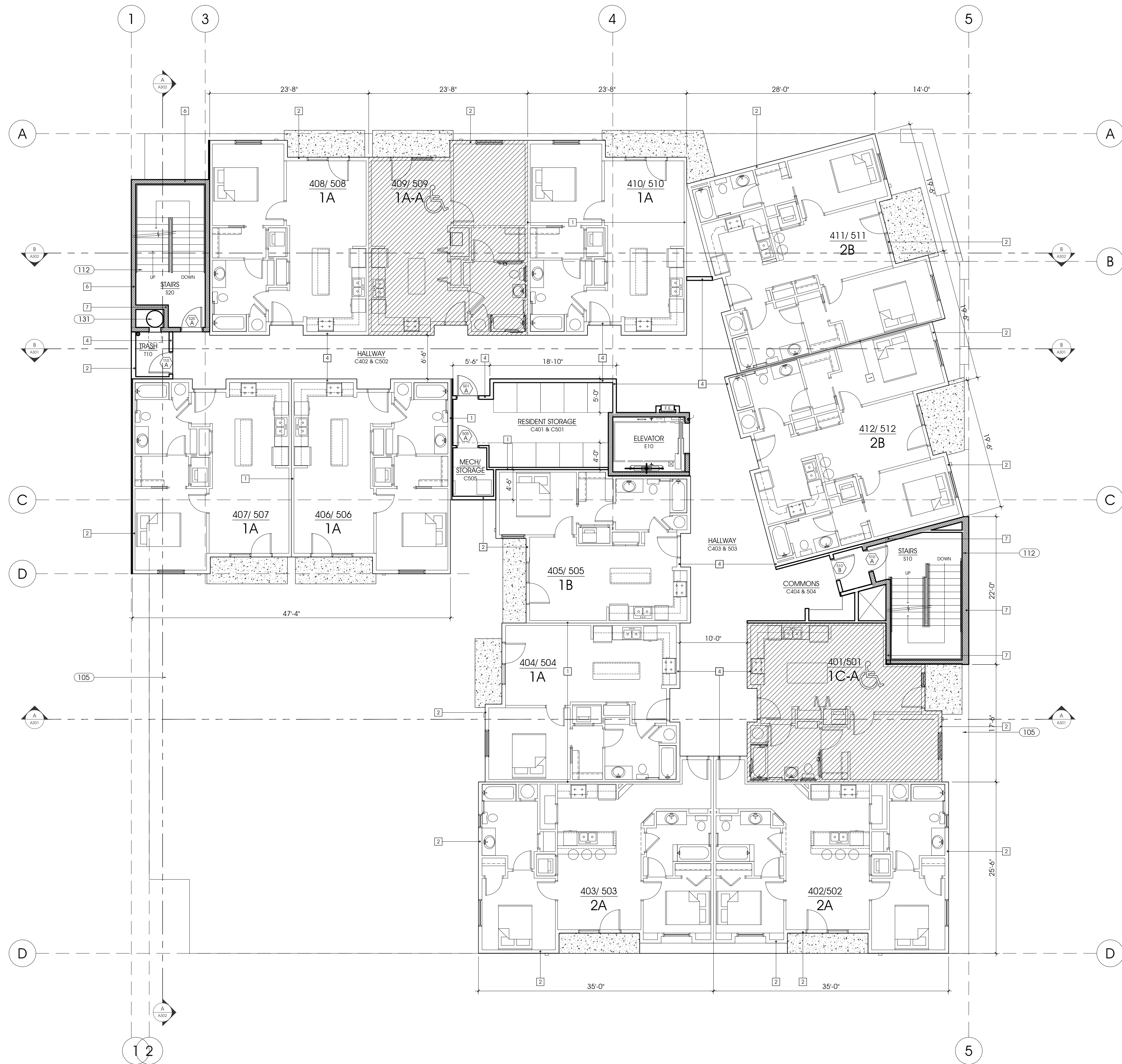
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- DIMENSIONS MEASURE DISTANCE TO FINISHED FRAMING FOR INTERIOR WALLS, U.N.O.
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- HANDRAIL ENDS SHALL RETURN TO WALL OR EXTEND PAST LAST TREAD NOSE BY LENGTH OF TREAD
- GLAZING USED IN PANELS AND DOORS FOR SHOWERS AND BATHTUB ENCLOSURES MUST BE TEMPERED
- PROVIDE CAULKING AND MIN. 9" COUNTER FLASHING AT ALL EXTERIOR WINDOWS AND DOORS.
- EGRESS/ RESCUE WINDOWS REQUIRED TO BE 5.7 SQ. FT. CLEAR OPEN WITH MINIMUM NET CLEAR OPENING WIDTH OF 20" AND A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A FINISHED SILL HEIGHT NOT TO EXCEED 44" ABOVE FLOOR.
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**PLAN KEYED NOTES**

- |       |                                                    |
|-------|----------------------------------------------------|
| (101) | POUR-IN-PLACE CONCRETE WALL                        |
| (102) | CONCRETE MASONRY BLOCK                             |
| (103) | BRICK VENEER                                       |
| (104) | BRICK ACCENT                                       |
| (105) | CONCRETE PODIUM                                    |
| (106) | EQUIPMENT, SEE CONSULTANT DRAWINGS                 |
| (107) | 4" CONCRETE BOLLARD                                |
| (108) | PARKING STRUCTURE CONCRETE COLUMN                  |
| (109) | TRASH CONTAINERS & STORAGE                         |
| (110) | KEY CARD ACCESS OVERHEAD GARAGE DOOR               |
| (111) | UTILITY EQUIPMENT                                  |
| (112) | STEEL STAIR SYSTEM WITH CONCRETE TREADS            |
| (113) | METAL HANDRAIL AND GUARDRAIL (W/A)                 |
| (114) | MASONRY ELEVATOR SHAFT                             |
| (115) | RESIDENT PORCH W/ LIGHTWEIGHT CONCRETE TOP         |
| (116) | BEAM, SEE STRUCTURAL                               |
| (117) | CEILING DROP/ FURRED DOWN                          |
| (118) | ALUMINUM STOREFRONT WINDOW/ DOOR SYSTEM            |
| (119) | SCHEDULED WINDOW SYSTEM                            |
| (120) | SCHEDULED DOOR SYSTEM                              |
| (121) | CONCRETE CURB AND SIDEWALK, SEE CIVIL DRAWINGS     |
| (122) | PLUMBING FIXTURE                                   |
| (123) | ADA ACCESSIBLE DRINKING FOUNTAIN                   |
| (124) | GARDEN RETAINING, SEE LANDSCAPE DRAWINGS           |
| (125) | 60 MIL. TPO ROOFING MEMBRANE, WHITE                |
| (126) | STANDING SEAM METAL ROOF                           |
| (127) | METAL SHADING DEVICE                               |
| (128) | ROOF DRAIN W/ OVERFLOW DRAIN TO DOWNSPOUT          |
| (129) | FIELD DRAIN                                        |
| (130) | FIRE EXTINGUISHER W/ RECESSED CABINET              |
| (131) | 30" TRASH CHUTE ASSEMBLY W/ 24"x18" PULL-DOWN DOOR |
| (132) | CABINETRY/ MILLWORK, SEE INTERIOR ELEVATIONS       |
| 133   | SIGNAGE, POLE OR WALL MOUNTED                      |
| (134) | H.C. METAL PUSH PANEL                              |
| (135) | 6' CHAINLINK FENCE W/ ACCESS GATES AS REQUIRED     |
| (136) | METAL LOUVER TO VENT GARAGE, SEE MECHANICAL        |
| (137) | GROUND-MOUNTED BIKE RACK                           |

**ASSEMBLY TYPES**

- PARTY WALL**
- 1 (2) 2x6 OR 2x4 WALLS SEPARATED BY 1" AIRSPACE, SEE STRUCTURAL SOUND BATT INSULATION & 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE SCHEDULED SHEATHING ON INTERIOR CAVITY, SEE STRUCTURAL
- EXTERIOR WALL**
- 2 2x6 WOOD STUD - (FIRE TREATED)  
R-21 CLOSED CELL BLOW-IN INSULATION  
(2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD (ND)  
(1) SCHEDULED EXTERIOR SHEATHING - (FIRE-TREATED)  
(1) LAYER 5/8" GYPSUM SHEATHING (EXT.)  
TYVEK BUILDING WRAP W/ SCHEDULED EXTERIOR FINISH  
- MASONRY BRICK VENEER/ E.I.F.S.
- INTERIOR WALL**
- 3 2x STUD WALL W/ SOUND INSULATION  
1/2" BOARD GYPSUM BOARD ON FINISHED SIDE
- INTERIOR WALL - BEARING**
- 4 2x6 WOOD STUD WALL INTERIOR BEARING  
SOUND INSULATION & 5/8" TYPE 'X' GYP. BD. EACH SIDE
- INTERIOR WALL**
- 5 2x4 WOOD STUD WALL  
SOUND INSULATION & 1/2" GYPSUM BOARD EACH SIDE, U.N.O.
- EXTERIOR WALL**
- 6 9" CONCRETE WALL, SEE STRUCTURAL FOR REQ.  
SMOOTH FINISH
- EXTERIOR WALL**
- 7 8" MASONRY BLOCK, SEE STRUCTURAL FOR REQ.  
SEE ELEVATIONS FOR STYLE & MANUFACTURER
- FLOOR/ CEILING ASSEMBLY**
- F1 16" CONCRETE PODIUM W/  
INCREASED THICKNESS UNDERSLAB AT SOME COLUMNS
- FLOOR/ CEILING ASSEMBLY**
- F2 12" TJI WOOD FLOOR JOIST  
3/4" T&G FLOOR SHEATHING W/ 1-1/2" GYP-CRETE TOPPING  
BATT INSULATION  
(2) LAYERS 1/2" TYPE 'X' GYPSUM BOARD CEILING
- ROOF/ CEILING ASSEMBLY**
- R1 16" TJI CEILING JOISTS, SLOPED FOR THE ROOF  
SCHEDULED ROOF SHEATHING  
60 MIL. TPO ROOFING MEMBRANE, WHITE  
W/ R-38 CAVITY INSULATION  
(2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD CEILING

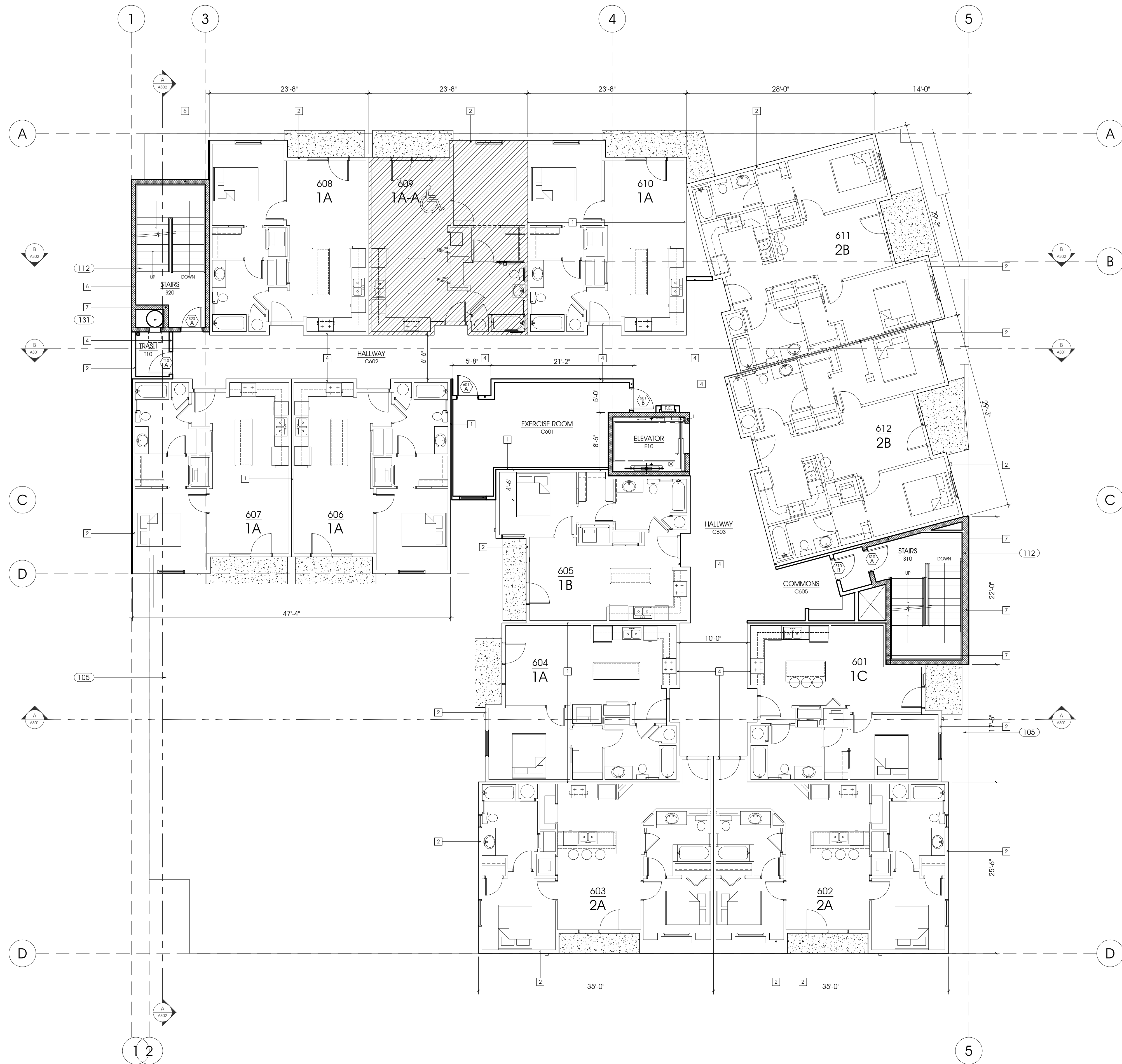


**4th & 5th LEVEL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND PRODUCT SIZES ON SITE
  - DIMENSIONS MEASURE DISTANCE TO FINISHED FRAMING FOR INTERIOR WALLS, U.N.O.
  - DIMENSIONS TO OUTSIDE OF EXTERIOR WALLS ARE TO FACE OF EXTERIOR SHEATHING
  - SILL PLATES AND ALL WOOD STRUCTURE THAT CONNECT TO CONCRETE TO BE PRESSURE TREATED OR REDWOOD
  - ANY GUARDRAILS, INTERIOR OR EXTERIOR, SHALL HAVE A TOP RAIL AT 42" HIGH. THE INTERMEDIATE RAILS SHALL BE CONSTRUCTED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH
  - HANDRAILS ARE REQUIRED ON ALL STAIRWAYS, AND PLACED AT 36" O.C. ABOVE STAIR NOSING RUNNING CONTINUOUSLY
  - HANDRAIL ENDS SHALL RETURN TO WALL OR EXTEND PAST LAST TREAD NOSE BY LENGTH OF TREAD
  - GLAZING USED IN PANELS AND DOORS FOR SHOWERS AND BATHUB ENCLOSURES MUST BE TEMPERED
  - PROVIDE CAULKING AND MIN. 9" COUNTER FLASHING AT ALL EXTERIOR WINDOWS AND DOORS.
  - EGRESS/RESCUE WINDOWS REQUIRED TO BE 5.7 SQ. FT. CLEAR OPEN WITH MINIMUM NET CLEAR OPENING WIDTH OF 20" AND A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A FINISHED SILL HEIGHT NOT TO EXCEED 44" ABOVE FLOOR.
  - ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR REDIRECT IT TO THE EXTERIOR. FLASHING SHALL BE INSTALLED AT THE PERIMETER OF EXTERIOR DOOR AND WINDOW ASSEMBLIES, EXTERIOR WALL TRANSITIONS TO ROOF AND HORIZONTAL PROJECTIONS. FLASHING SHALL BE INSTALLED AT ALL EXTERIOR FINISH MATERIAL TRANSITIONS. THE FLASHING SHALL BE CORROSIVE-RESISTANT W/ A 3/4" DRIP ANGLE EXTENDING PAST THE FINISH EDGE.

- PLAN KEYED NOTES**
- (101) POUR-IN-PLACE CONCRETE WALL
  - (102) CONCRETE MASONRY BLOCK
  - (103) BRICK VENEER
  - (104) BRICK ACCENT
  - (105) CONCRETE PODIUM
  - (106) EQUIPMENT, SEE CONSULTANT DRAWINGS
  - (107) 4" CONCRETE BOLLARD
  - (108) PARKING STRUCTURE CONCRETE COLUMN
  - (109) TRASH CONTAINERS & STORAGE
  - (110) KEY CARD ACCESS OVERHEAD GARAGE DOOR
  - (111) UTILITY EQUIPMENT
  - (112) STEEL STAIR SYSTEM WITH CONCRETE TREADS
  - (113) METAL HANDRAIL AND GUARDRAIL (W/A)
  - (114) MASONRY ELEVATOR SHAFT
  - (115) RESIDENT PORCH W/ LIGHTWEIGHT CONCRETE TOP
  - (116) BEAM, SEE STRUCTURAL
  - (117) CEILING DROP/ FURRED DOWN
  - (118) ALUMINUM STOREFRONT WINDOW/ DOOR SYSTEM
  - (119) SCHEDULED WINDOW SYSTEM
  - (120) SCHEDULED DOOR SYSTEM
  - (121) CONCRETE CURB AND SIDEWALK, SEE CIVIL DRAWINGS
  - (122) PLUMBING FIXTURE
  - (123) ADA ACCESSIBLE DRINKING FOUNTAIN
  - (124) GARDEN RETAINING, SEE LANDSCAPE DRAWINGS
  - (125) 60 MIL. TPO ROOFING MEMBRANE, WHITE
  - (126) STANDING SEAM METAL ROOF
  - (127) METAL SHADING DEVICE
  - (128) ROOF DRAIN W/ OVERFLOW DRAIN TO DOWNSPOUT
  - (129) FIELD DRAIN
  - (130) FIRE EXTINGUISHER W/ RECESSED CABINET
  - (131) 30" TRASH CHUTE ASSEMBLY W/ 24"x18" PULL-DOWN DOOR
  - (132) CABINETRY/ MILLWORK, SEE INTERIOR ELEVATIONS
  - 133 SIGNAGE, POLE OR WALL MOUNTED
  - (134) H.C. METAL PUSH PANEL
  - (135) 6' CHAINLINK FENCE W/ ACCESS GATES AS REQUIRED
  - (136) METAL LOUVER TO VENT GARAGE, SEE MECHANICAL
  - (137) GROUND-MOUNTED BIKE RACK

- ASSEMBLY TYPES**
- PARTY WALL**
- 1 (2) 2x6 OR 2x4 WALLS SEPARATED BY 1" AIRSPACE, SEE STRUCTURAL SOUND BATT INSULATION & 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE SCHEDULED SHEATHING ON INTERIOR CAVITY, SEE STRUCTURAL
- EXTERIOR WALL**
- 2 2x6 WOOD STUD - (FIRE TREATED)  
R-21 CLOSED CELL BLOWN-IN INSULATION  
(2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD (INT)  
(1) SCHEDULED EXTERIOR SHEATHING - (FIRE-TREATED)  
(1) LAYER 5/8" GYPSUM SHEATHING (EXT)  
TYVEK BUILDING WRAP W/ SCHEDULED EXTERIOR FINISH  
MASONRY BRICK VENEER/ E.I.F.S.
- INTERIOR WALL**
- 3 2x STUD WALL W/ SOUND INSULATION  
1/2" BOARD GYPSUM BOARD ON FINISHED SIDE
- INTERIOR WALL - BEARING**
- 4 2x6 WOOD STUD WALL INTERIOR BEARING  
SOUND INSULATION & 5/8" TYPE 'X' GYP. BD. EACH SIDE
- INTERIOR WALL**
- 5 2x4 WOOD STUD WALL  
SOUND INSULATION & 1/2" GYPSUM BOARD EACH SIDE, U.N.O.
- EXTERIOR WALL**
- 6 9" CONCRETE WALL, SEE STRUCTURAL FOR REQ.  
SMOOTH FINISH
- EXTERIOR WALL**
- 7 8" MASONRY BLOCK, SEE STRUCTURAL FOR REQ.  
SEE ELEVATIONS FOR STYLE & MANUFACTURER
- FLOOR/ CEILING ASSEMBLY**
- F1 14" CONCRETE PODIUM W/  
INCREASED THICKNESS UNDERSLAB AT SOME COLUMNS
- FLOOR/ CEILING ASSEMBLY**
- F2 12" TJI WOOD FLOOR JOIST  
3/4" 18G FLOOR SHEATHING W/ 1-1/2" GYP-CRETE TOPPING  
BATT INSULATION  
(2) LAYERS 1/2" TYPE 'X' GYPSUM BOARD CEILING
- ROOF/ CEILING ASSEMBLY**
- R1 16" TJI CEILING JOISTS, SLOPED FOR THE ROOF  
SCHEDULED ROOF SHEATHING  
60 MIL. TPO ROOFING MEMBRANE, WHITE  
W/ R-38 CAVITY INSULATION  
(2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD CEILING



**6th LEVEL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND PRODUCT SIZES ON SITE
- DIMENSIONS MEASURE DISTANCE TO FINISHED FRAMING FOR INTERIOR WALLS, U.N.O.
- DIMENSIONS TO OUTSIDE OF EXTERIOR WALLS ARE TO FACE OF EXTERIOR SHEATHING
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**PLAN KEYED NOTES**

- (101) POUR-IN-PLACE CONCRETE WALL
- (102) CONCRETE MASONRY BLOCK
- (103) BRICK VENEER
- (104) BRICK ACCENT
- (105) CONCRETE PODIUM
- (106) EQUIPMENT, SEE CONSULTANT DRAWINGS
- (107) 4" CONCRETE BOLLARD
- (108) PARKING STRUCTURE CONCRETE COLUMN
- (109) TRASH CONTAINERS & STORAGE
- (110) KEY CARD ACCESS OVERHEAD GARAGE DOOR
- (111) UTILITY EQUIPMENT
- (112) STEEL STAIR SYSTEM WITH CONCRETE TREADS
- (113) METAL HANDRAIL AND GUARDRAIL (W/A)
- (114) MASONRY ELEVATOR SHAFT
- (115) RESIDENT PORCH W/ LIGHTWEIGHT CONCRETE TOP
- (116) BEAM, SEE STRUCTURAL
- (117) CEILING DROP/ FURRED DOWN
- (118) ALUMINUM STOREFRONT WINDOW/ DOOR SYSTEM
- (119) SCHEDULED WINDOW SYSTEM
- (120) SCHEDULED DOOR SYSTEM
- (121) CONCRETE CURB AND SIDEWALK, SEE CIVIL DRAWINGS
- (122) PLUMBING FIXTURE
- (123) ADA ACCESSIBLE DRINKING FOUNTAIN
- (124) GARDEN RETAINING, SEE LANDSCAPE DRAWINGS
- (125) 60 MIL. TPO ROOFING MEMBRANE, WHITE
- (126) STANDING SEAM METAL ROOF
- (127) METAL SHADING DEVICE
- (128) ROOF DRAIN W/ OVERFLOW DRAIN TO DOWNSPOUT
- (129) FIELD DRAIN
- (130) FIRE EXTINGUISHER W/ RECESSED CABINET
- (131) 30" TRASH CHUTE ASSEMBLY W/ 24"x18" PULL-DOWN DOOR
- (132) CABINETRY/ MILLWORK, SEE INTERIOR ELEVATIONS
- 133 SIGNAGE, POLE OR WALL MOUNTED
- (134) H.C. METAL PUSH PANEL
- (135) 6' CHAINLINK FENCE W/ ACCESS GATES AS REQUIRED
- (136) METAL LOUVER TO VENT GARAGE, SEE MECHANICAL
- (137) GROUND-MOUNTED BIKE RACK

**ASSEMBLY TYPES**

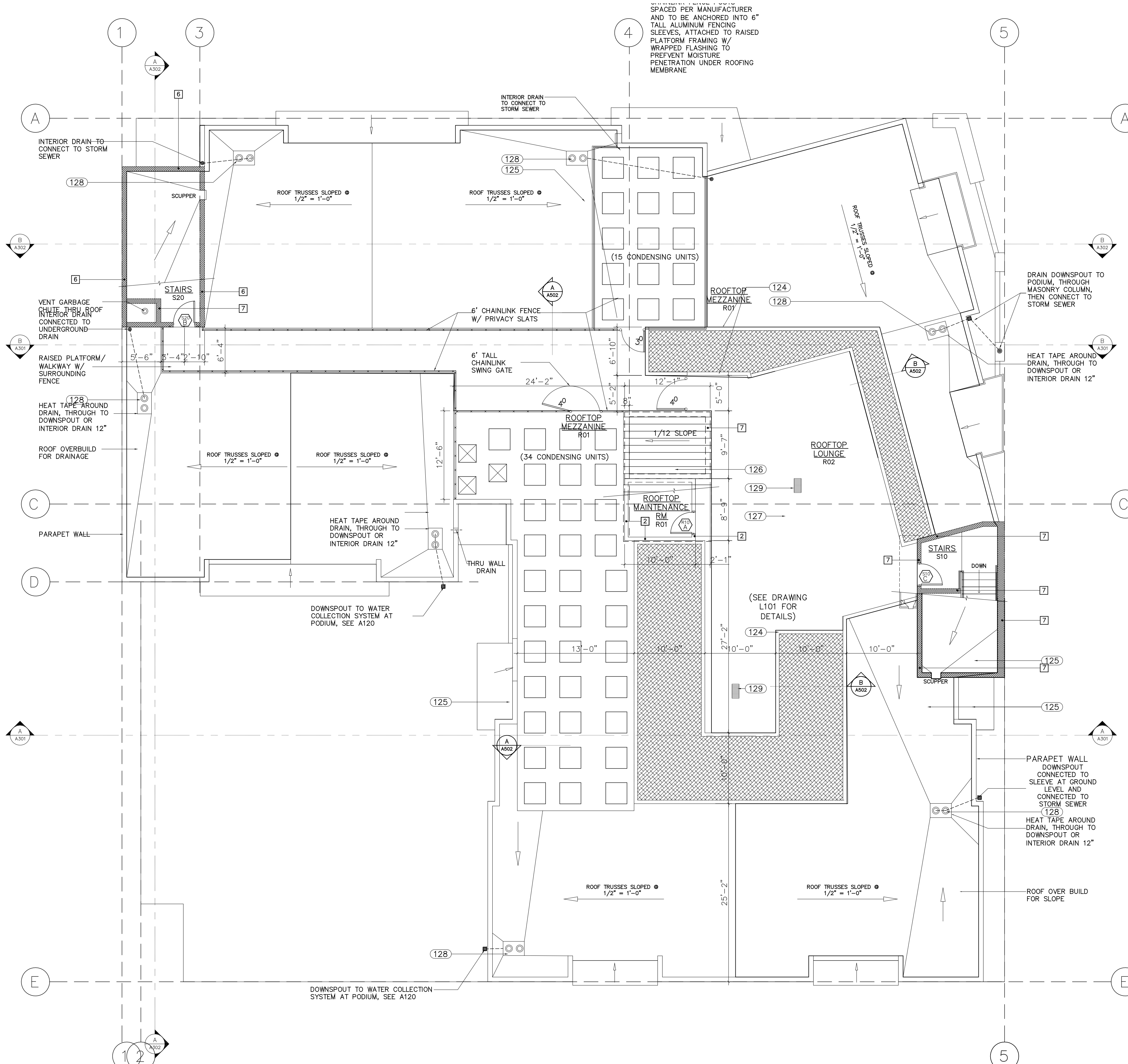
- PARTY WALL**
- 1 (2) 2x6 OR 2x4 WALLS SEPARATED BY 1" AIRSPACE. SEE STRUCTURAL SOUND BATT INSULATION & 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE SCHEDULED SHEATHING ON INTERIOR CAVITY. SEE STRUCTURAL
- EXTERIOR WALL**
- 2 2x6 WOOD STUD - (FIRE TREATED)  
R-21 CLOSED CELL BLOWN-IN INSULATION  
(2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD (ND)  
(1) SCHEDULED EXTERIOR SHEATHING - (FIRE-TREATED)  
(1) LAYER 5/8" GYPSUM SHEATHING (EXT)  
TYVEK BUILDING WRAP W/ SCHEDULED EXTERIOR FINISH - MASONRY BRICK VENEER/ E.I.F.S.
- INTERIOR WALL**
- 3 2x STUD WALL W/ SOUND INSULATION  
1/2" BOARD GYPSUM BOARD ON FINISHED SIDE
  - 4 2x6 WOOD STUD WALL INTERIOR BEARING  
SOUND INSULATION & 5/8" TYPE 'X' GYP. BD. EACH SIDE
- INTERIOR WALL**
- 5 2x4 WOOD STUD WALL  
SOUND INSULATION & 1/2" GYPSUM BOARD EACH SIDE, U.N.O.
- EXTERIOR WALL**
- 6 9" CONCRETE WALL, SEE STRUCTURAL FOR REQ. SMOOTH FINISH
  - 7 8" MASONRY BLOCK, SEE STRUCTURAL FOR REQ. SEE ELEVATIONS FOR STYLE & MANUFACTURER
- FLOOR/ CEILING ASSEMBLY**
- F1 14" CONCRETE PODIUM W/ INCREASED THICKNESS UNDERSLAB AT SOME COLUMNS
  - F2 12" TJI WOOD FLOOR JOIST  
3/4" 18G FLOOR SHEATHING W/ 1-1/2" GYP-CRETE TOPPING  
BATT INSULATION  
(2) LAYERS 1/2" TYPE 'X' GYPSUM BOARD CEILING
  - R1 16" TJI CEILING JOISTS, SLOPED FOR THE ROOF  
SCHEDULED ROOF SHEATHING  
60 MIL. TPO ROOFING MEMBRANE, WHITE  
W/ R-38 CAVITY INSULATION  
(2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD CEILING

**BALL PARK APARTMENTS**  
1380 South West Temple St.  
Salt Lake City, Utah

PROJECT #01327

DATE: 06.16.2014  
 ADDENDUM #1  
 BUDGET CHANGES  
 ADDENDUM #2  
 OWNER CHANGES

SHEET #  
**A123**



**A** ROOF LEVEL PLAN  
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND PRODUCT SIZES ON SITE
  - DIMENSIONS MEASURE DISTANCE TO FINISHED FRAMING FOR INTERIOR WALLS, U.N.O.
  - DIMENSIONS TO OUTSIDE OF EXTERIOR WALLS ARE TO FACE OF EXTERIOR SHEATHING
  - SILL PLATES AND ALL WOOD STRUCTURE THAT CONNECT TO CONCRETE TO BE PRESSURE TREATED OR REDWOOD
  - ANY GUARDRAILS, INTERIOR OR EXTERIOR, SHALL HAVE A TOP RAIL AT 42" HIGH. THE INTERMEDIATE RAILS SHALL BE CONSTRUCTED SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH
  - HANDRAILS ARE REQUIRED ON ALL STAIRWAYS, AND PLACED AT 36" O.C. ABOVE STAIR NOSING
  - RUNNING CONTINUOUSLY
  - HANDRAIL ENDS SHALL RETURN TO WALL OR EXTEND PAST LAST TREAD NOSE BY LENGTH OF TREAD
  - GLAZING USED IN PANELS AND DOORS FOR SHOWERS AND BATHTUB ENCLOSURES MUST BE TEMPERED
  - PROVIDE CAULKING AND MIN. 9" COUNTER FLASHING AT ALL EXTERIOR WINDOWS AND DOORS. EGRESS/ RESCUE WINDOWS REQUIRED TO BE 5.7 SQ. FT. CLEAR OPEN WITH MINIMUM NET CLEAR OPENING WIDTH OF 20" AND A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A FINISHED SILL HEIGHT NOT TO EXCEED 44" ABOVE FLOOR
  - ALL FLASHING MUST BE INSTALLED IN SUCH A MANNER AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR PENETRATING TO THE

- PLAN KEYED NOTES**
- (101) POUR-IN-PLACE CONCRETE WALL
  - (102) CONCRETE MASONRY BLOCK
  - (103) BRICK VENEER
  - (104) BRICK ACCENT
  - (105) CONCRETE PODIUM
  - (106) EQUIPMENT, SEE CONSULTANT DRAWINGS
  - (107) 4" CONCRETE BOLLARD
  - (108) PARKING STRUCTURE CONCRETE COLUMN
  - (109) TRASH CONTAINERS & STORAGE
  - (110) KEY CARD ACCESS OVERHEAD GARAGE DOOR
  - (111) UTILITY EQUIPMENT
  - (112) STEEL STAIR SYSTEM WITH CONCRETE TREADS
  - (113) METAL HANDRAIL AND GUARDRAIL (W/A)
  - (114) MASONRY ELEVATOR SHAFT
  - (115) RESIDENT PORCH W/ LIGHTWEIGHT CONCRETE
  - (116) TOP
  - (117) BEAM, SEE STRUCTURAL
  - (118) CEILING DROP/ FURRED DOWN
  - (119) ALUMINUM STOREFRONT WINDOW/ DOOR
  - (120) SYSTEM
  - (121) SCHEDULED WINDOW SYSTEM
  - (122) SCHEDULED DOOR SYSTEM
  - (123) CONCRETE CURB AND SIDEWALK, SEE CIVIL DRAWINGS
  - (124) DRAWINGS
  - (125) PLUMBING FIXTURE
  - (126) ADA ACCESSIBLE DRINKING FOUNTAIN
  - (127) GARDEN RETAINING, SEE LANDSCAPE DRAWINGS
  - (128) 60 MIL. TPO ROOFING MEMBRANE, WHITE
  - (129) STANDING SEAM METAL ROOF
  - (130) METAL SHADING DEVICE
  - (131) ROOF DRAIN W/ OVERFLOW DRAIN TO
  - (132) DOWNSPOUT
  - (133) FIELD DRAIN
  - (134) FIRE EXTINGUISHER W/ RECESSED CABINET
  - (135) 30" TRASH CHUTE ASSEMBLY W/ 24"x18"
  - (136) PULL-DOWN DOOR CABINETS/ MILLWORK, SEE
  - (137) INTERIOR ELEVATIONS

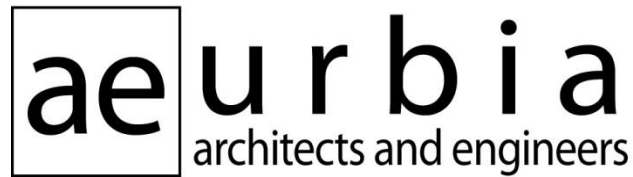
- ASSEMBLY TYPES**
- PARTY WALL
- 1) 2x6 OR 2x4 WALLS SEPARATED BY 1" AIRSPACE SEE STRUCTURAL
  - 2) SOUND BATT INSULATION & 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE SCHEDULED SHEATHING ON INTERIOR CAVITY, SEE STRUCTURAL
- 2x6 WOOD STUD - (FIRE TREATED)  
R-21 CLOSED CELL BLOW-IN INSULATION  
(2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD (INT) (FIRE-TREATED)  
(1) SCHEDULED EXTERIOR SHEATHING - (FIRE-TREATED)  
(1) LAYER 5/8" GYPSUM SHEATHING (EXT)
- 3) TYPEK BUILDING WRAP W/ SCHEDULED EXTERIOR FIN - MASONRY BRICK VENEER/ E.I.F.S.
- INTERIOR WALL - BEARING
- 4) 2x STUD WALL W/ SOUND INSULATION 1/2" BOARD GYPSUM BOARD ON FINISHED SIDE
- INTERIOR WALL
- 5) 2x6 WOOD STUD WALL INTERIOR BEARING SOUND INSULATION & 5/8" TYPE 'X' GYP. BD. EACH SIDE
- EXTERIOR WALL
- 6) 2x4 WOOD STUD WALL SOUND INSULATION & 1/2" GYPSUM BOARD EACH SIDE
- INTERIOR WALL
- 7) 9" CONCRETE WALL, SEE STRUCTURAL FOR REQ. SMOOTH FINISH
- FLOOR/ CEILING ASSEMBLY
- F1) 16" CONCRETE PODIUM W/ SCHEDULED SHEATHING ON INTERIOR CAVITY SEE ELEVATIONS FOR STYLE & MANUFACTURER
- FLOOR/ CEILING ASSEMBLY
- F2) 12" TJI WOOD FLOOR JOIST 3/4" T&G FLOOR SHEATHING W/ 1-1/2" GYP-CRE TOPPING
- ROOF/ CEILING ASSEMBLY
- R1) 16" TJI CEILING JOISTS, SLOPED FOR THE ROOF SCHEDULED ROOF SHEATHING 60 MIL. TPO ROOFING MEMBRANE, WHITE W/ R-38 CAVITY INSULATION (2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD CEILING

**BALL PARK APARTMENTS**  
1380 SOUTH WEST TEMPLE ST.  
SALT LAKE CITY, UTAH

ADDENDUM #1  
BUDGET CHANGES  
ADDENDUM #2 OWNER  
CHANGES  
CITY REVIEW  
COMMENTS

**A130**

## **ATTACHMENT F: APPLICANT INFORMATION**



2875 south decker lake drive, suite 275  
salt lake city , utah 84119  
phone: 801.746.0456 - fax: 801.575.6456  
web page : a e u r b i a . c o m

November 06, 2014

**Mr. Michael Maloy**  
**Salt Lake City Planning**  
451 South State Srteet, Room 215  
Salt Lake City, UT 84114

**Re: Planned Development Review for the proposed Ball Park Apartments located at  
1380 S. West Temple, Salt Lake City, Utah**

To Whom it May Concern:

The information contained below is being submitted as part of the required design package.

1. **Project Description** Ball Park Apartments is a 6-level, 62-unit multifamily project for seniors (55+) located on a vacant site adjacent to Smith's Ballpark and UTA's Ballpark Station. This multi-family project will consist of (46) 650 S.F. one bedroom/one bath units and (16) 875 S.F. two bedroom/one bath units. The ground level incorporates an enclosed parking garage with 33 covered stalls and 3 additional covered stalls abutting Albermarle Avenue. The ground level also includes project amenity spaces, such as a large community room, restroom, and leasing office. The second level consists of resident units with exterior balconies, and a podium level outdoor garden. Levels 3-6 are resident units with exterior balconies, exercise or storage rooms, and corridor computer nooks. Exterior building materials include concrete masonry units, metal panel, brick, EIFS, glass and metal balcony railings.

Smith's Ballpark is one of the largest recreational facilities in the Salt Lake Valley and has acted as a catalyst for revitalization in the surrounding neighborhood. Additionally, with the advent of UTA's TRAX line that has a stop within 1/3 mile of the ballpark, the neighborhood has seen an increase in for-profit and non-profit development interest and, more importantly, community involvement. As a point of interest, the Ball Park TRAX stop acts as one of four transfer stations on the TRAX system that services the blue, green and red lines along with the newly opened (December 2013) Sugar House Streetcar line. This flexibility allows for future residents of the Ball Park Apartments to have significant mobility throughout the Salt Lake Valley.

Ball Park Apartments is at the heart of an important 'point of transition.' This is reflected in the design aesthetics and functionality of the building. First, the neighborhood has a conflicting relationship with transportation. The site lies between two parallel paths of the everyday commuter: State Street two blocks to the East, and Trax one block to the West. These two paths are busy thoroughfares whose size facilitates the flow of traffic and people. In contrast, West Temple is narrow and flanked by mature trees that visually and physically restrict mass transit.



Ball Park Apartments continues the pedestrian feel of the street while providing a hidden link to the busy street traffic paths with the inclusion of the private parking garage. The project site serves as a transition between the busy, public, commercial north side of the site and the quiet, private, residential south side of the site. Ball Park Apartments engages these two variations of land use by means of functional use and architectural design.

Residents of the Ball Park Apartments will enjoy spacious apartments appointed with wooden cabinetry, water saving plumbing fixtures and energy efficient appliances to include a stackable washer and dryer in each unit. The building will have a central heating/cooling system with each unit being equipped with an energy efficient HVAC system. Additionally, residents will enjoy additional resident storage facilities on each floor.

Along with the project's ground floor leasing office and 24-hour video monitoring system, common areas associated with the Ball Park Apartments will include a first floor lounge for guests as well as a community room with kitchen facilities. The second floor features an exercise room, outdoor activity space and public computers and printers. The architect has incorporated an open air garden and viewing areas of the Smith's Ballpark on the rooftop. The second floor and rooftop open/green space areas are secluded, allowing for quiet enjoyment, picnics, games and other outdoor activities. All ground level common areas will be serviced by free wireless internet. Ample bicycle parking is provided within the covered parking structure. People's Freeway Park is a short (less than five minute) walk to the south. Super Wal-Mart's grocery and pharmacy, along with other neighborhood retail stores, is just a couple of blocks to the west.

2. **Planned Development Information** In accordance with the Central Community Master Plan, in a residential mixed-use development (R-MU Zone), Ball Park Apartments will provide 62 units of senior housing within walking distance of shops, restaurants, services, commercial centers, local artisans, a regional sports complex and the UTA Trax line. The site is currently vacant with no existing structures or desirable landscaping. The construction of a new residential building will help tie the surrounding neighborhoods together. Several amenities will be provided to encourage resident interaction, including community gardens, and a rooftop deck.

Ball Park Apartments satisfies multiple objectives set forth in the PDR ordinance, Section 21A.55.010, as follows:

- a. *Combination and coordination of architectural styles, building forms, building materials, and building relationships.* The design of the Ball Park Apartments adopts an urban architectural style that compliments the adjacent Smith's Ballpark and nearby residential buildings through its use of form and building materials. The form includes a square podium made of cast-in-place concrete, CMU (concrete masonry units), and aluminum storefront glazing assemblies. The second through sixth floors are composed of a combination of EIFS, brick, CMU, and metal panels that can be found in similar use in the adjacent Ballpark. The form of the proposed structure at 1380 South West Temple has been angled to match the angle of the ballpark as the stadium wraps around the outfield. This subtle change in the overall form serves a three-fold purpose of complimenting the ballpark, softening the corner condition at the entrance, and serving as a way-finding mechanism for the building entrance.
- b. *Preservation and enhancement of desirable site characteristics such as natural topography, vegetation and geologic features, and the prevention of soil erosion.* These items are not applicable to the proposed Ball Park Apartments.
- c. *Preservation of buildings which are architecturally or historically significant or contribute to the character of the city.* These items are not applicable to the proposed Ball Park Apartments.
- d. *Use of design, landscape, or architectural features to create a pleasing environment.* The design of the building shows a sensitivity to the urban context in which it will reside.

The sculpted architectural facade provides an undulation and cadence to the urban streetfront where building and street intersect. The landscaping along West Temple softens this intersection as well as the transition from commercial at 1300 South and residential at 1400 South. The inclusion of exterior unit balconies also provides the residents an important means of interaction and connection with the community at street level.

- e. *Inclusion of special development amenities that are in the interest of the general public.* The development of this project offer the general public an improvement of neighborhood aesthetics as well as much needed housing for community seniors.
- f. *Elimination of blighted structures or incompatible uses through redevelopment or rehabilitation.* The proposed site is currently vacant and has no existing structures.
- g. *Inclusion of affordable housing with market rate housing.* The proposed Ball Park Apartments is an affordable housing development for seniors.
- h. *Utilization of "green" building techniques in development.* The proposed Ball Park Apartments is designed with fixtures, materials and appliances that promote a healthy, efficient, and sustainable project. By using Energy Star rated fixtures and appliances the individual units are targeting lower energy usage and greater efficiency in heating, cooling and utility use. From the unit design and function to the underlying building's system infrastructure, the project is targeting a reduction in average energy usage well in excess of 15% over a standard comparable project. Ball Park Apartments is designed to achieve an Enterprise Green Communities designation along with an Energy Star 3.0 designation. Although construction comes after the design is complete, the project is designed with materials that are low/no VOC and an effort has been made to use those that are a percentage of recycled, salvaged or engineered. The builder, Kier Construction, was selected for the project based upon their historic ability to utilize materials and construction practices that provide an environmentally sensitive construction site and a priority on waste management.

Ball Park Apartments, LP is seeking one waiver from the current zoning standards: **the 30' rear yard setback requirement.**

- a. The 30' rear yard setback negatively affects the design intent of the current city zoning. The western property line (rear) abuts a narrow, crumbling 14' alleyway that connects 1400 south to the proposed development property and Albermarle Avenue. The structures surrounding the alleyway are neglected, dilapidated, and have no aesthetic value. Because of the lack of improvements in the area, the surrounding sites have become a dumping ground for refuse, old cars, and are overgrown with weeds and other vegetation. The Ball Park Apartments development would replace the crumbling asphalt alleyway to the west of the property and Albermarle Avenue. It will add aesthetic improvements through its thoughtful contextual architectural design that screens the current dilapidated properties to the west. There is no benefit to future residents and the surrounding neighborhood to a 30' rear yard setback. Access to the rear yard would be restricted due to the necessarily large structure pushed to the West Temple property line that would block the view to the back of the site. Secondly, the views of the surrounding properties at the rear of the site are of blighted and vacant buildings, broken asphalt, garbage, and abandoned automobiles and thus of no aesthetic value.

The parcel is zoned R-MU (Residential Mixed Use). This project was originally presented to the City at a DRT meeting in January 2014 utilizing a zero rear yard setback site plan. The design team then proceeded in designing a building using a zero rear yard setback pursuant to Section 21A.24.170E.6 which was allowed in R-MU zones. However, subsection E.6 was subsequently amended effective May 30, 2014 to require a 30-foot rear yard setback.

Ball Park Apartments has completed a conceptual building design that incorporates a 30-foot rear yard setback. However, the compression of the building onto a smaller footprint causes the loss of several attractive architectural features along West Temple. In addition, the rear yard is essentially useless as outdoor space due to the location facing properties with refuse and old cars along the alley. Furthermore, this rear yard creates safety concerns for the project's senior residents given its remote location along an alley across from commercial properties. Surrounding parcels are zoned General Commercial and Residential Business.

We are confident that this project, as originally designed, will be a positive influence in the neighborhood by adding contextually sensitive architectural design and much needed area housing. If you have any questions, or need additional information regarding this project, please contact me at your convenience.

Sincerely,

Ryan Mackowiak, Architect  
AE Urbia

## **ATTACHMENT G: EXISTING CONDITIONS**

# Central Community Future Land Use

\* NOTE: The Low-Medium and Medium Density Land Use designations may include multiple zoning designations (e.g.; a single land use designation and map color may represent RMF-35 or SR-3 classifications)

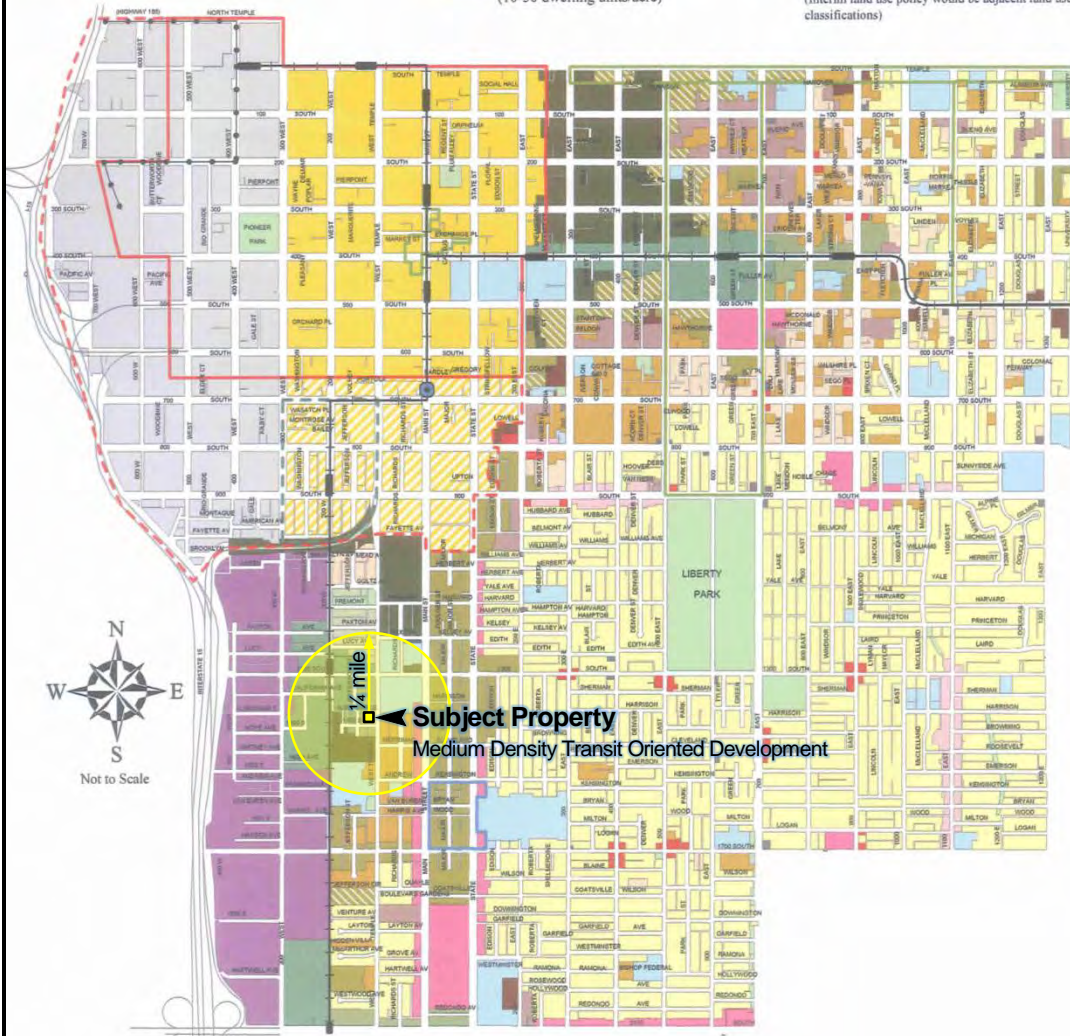
## Map Legend

- Light Rail Stations
- Proposed Lightrail Stations
- Historic Preservation
- Light Rail
- Later Phase of Light Rail
- CBD Boundary
- CBD Support Boundary
- Salt Lake Community College/Future Expansion Area
- West Temple Gateway Plan

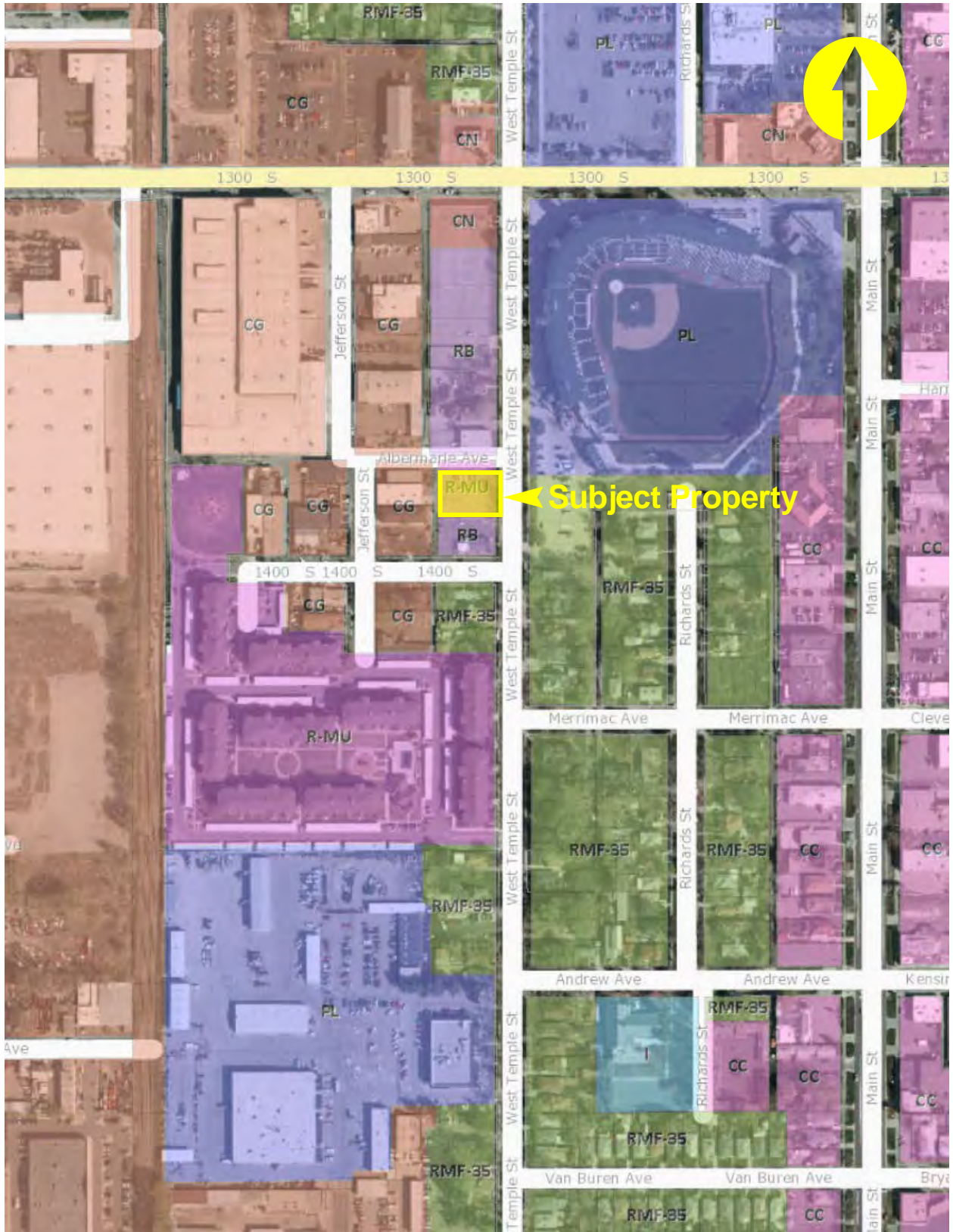
## Future Land Use

- Low Density Residential (1-15 dwelling units/acre)
- Low Medium Density Residential (10-20 dwelling units/acre) \*
- Medium Density Residential (15-30 dwelling units/acre) \*
- Medium High Density Residential (30-50 dwelling units/acre)
- High Density Residential (50 or more dwelling units/acre)
- Low Residential/Mixed Use (5-10 dwelling units/acre)
- Medium Residential/Mixed Use (10-50 dwelling units/acre)

- Residential/Office Mixed Use (10-50 dwelling units/acre)
- High Mixed Use (50 or more dwelling units/acre)
- Neighborhood Commercial
- Community Commercial
- Central Business District
- Central Business District Support
- Regional Commercial/Industrial
- Low Density Transit Oriented Development (1-20 dwelling units/acre)
- Medium Density Transit Oriented Development (10-50 dwelling units/acre)
- High Density Transit Oriented Development (50 or more dwelling units/acre)
- Open Space
- Institutional
- Gateway Master Plan (Note: Future Land Use Shown in the Gateway Master Plan)
- Non-conforming properties to be evaluated for appropriate land use designation. (Interim land use policy would be adjacent land use classifications)



# 2014 Salt Lake City Zoning Map



## Property Photographs



Westward View from West Temple Street to Subject Property



Eastward View from Subject Property to West Temple Street

## **ATTACHMENT H: ANALYSIS OF STANDARDS**



**21a.55.050: Standards for Planned Developments:** The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

| Standard                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Finding                           | Rationale                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (in section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section:</b></p> <p><b>A. Combination and coordination of architectural styles, building forms, building materials, and building relationships;</b></p> <p><b>B. Preservation and enhancement of desirable site characteristics such as natural topography, vegetation and geologic features, and the prevention of soil erosion;</b></p> <p><b>C. Preservation of buildings which are architecturally or historically significant or contribute to the character of the city;</b></p> <p><b>D. Use of design, landscape, or architectural features to create a pleasing environment;</b></p> <p><b>E. Inclusion of special development amenities that are in the interest of the general public;</b></p> <p><b>F. Elimination of blighted structures or incompatible uses through redevelopment or rehabilitation;</b></p> <p><b>G. Inclusion of affordable housing with market rate housing; or</b></p> <p><b>H. Utilization of "green" building techniques in development.</b></p> | <p><b>Partially compliant</b></p> | <p>The applicant intends to achieve objectives A, D, E, G, and H.</p> <p>With respect to object A, the proposed building design will complement the adjacent Smith's Ballpark. The building will utilize a square podium made of cast-in-place concrete, an aluminum storefront, brick and concrete masonry unit walls, and metal panels similar to the ballpark. A corner of the north east section of the building will be angled reminiscent of a baseball diamond.</p> <p>With respect to objective D, the applicant claims that by having a "sculpted architectural façade" facing West Temple and landscaping between the building and the street, will create a pleasing environment. The applicant also claims that upper-level balconies will create an important connection with the community. However, to address concerns identified by Salt Lake City Urban Designer, Molly Robinson, staff recommends that this issue be further addressed through recommended conditions of approval.</p> <p>The applicant plans to achieve objective E by 1) developing and improving the lot, and 2) "providing much needed affordable housing for community seniors."</p> <p>The applicant also proposes the project will meet objective G by providing 62 units of housing for low income seniors (age 55 plus).</p> <p>The applicant intends to satisfy objective H by utilizing "green" and sustainable materials and using Energy star (which is technically not a building technique) rated fixtures. Also the design of the building will use 15% less energy than comparable buildings (methods used to achieve this is not fully described in the applicant's narrative). The applicant states the project is designed to achieve an Enterprise Green Communities designation along with an Energy Star rating of 3.0.</p> |
| <p><b>B. Master Plan and Zoning Ordinance Compliance: The proposed planned development shall be:</b></p> <p><b>1. Consistent with any adopted policy set forth in the citywide, community, and/or small area master plan and</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Partially compliant</b></p> | <p>With respect to the master plan, the subject property is within the Central Community Master Plan area. The Future Land Use map identifies the property as Medium Density Transit Oriented Development, which has a density of 10-50 dwelling units per acre.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |

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| <p>future land use map applicable to the site where the planned development will be located, and</p> <p>2. Allowed by the zone where the planned development will be located or by another applicable provision of this title.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <p>Whereas the property contains approximately 0.36 of an acre and the applicant proposes to develop 62 units, the development density will be 172.2 dwelling units per acre, which exceeds the density recommendations of the applicable master plan.</p> <p>With respect to zoning, multi-family residential is a permitted use in the R-MU District, which does not have a density limit.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>C. Compatibility: The proposed planned development shall be compatible with the character of the site, adjacent properties, and existing development within the vicinity of the site where the use will be located. In determining compatibility, the planning commission shall consider:</b></p> <ol style="list-style-type: none"> <li>1. Whether the street or other adjacent street/access; means of access to the site provide the necessary ingress/egress without materially degrading the service level on such street/access or any</li> <li>2. Whether the planned development and its location will create unusual pedestrian or vehicle traffic patterns or volumes that would not be expected, based on: <ol style="list-style-type: none"> <li>a. Orientation of driveways and whether they direct traffic to major or local streets, and, if directed to local streets, the impact on the safety, purpose, and character of these streets;</li> <li>b. Parking area locations and size, and whether parking plans are likely to encourage street side parking for the planned development which will adversely impact the reasonable use of adjacent property;</li> <li>c. Hours of peak traffic to the proposed planned development and whether such traffic will unreasonably impair the use and enjoyment of adjacent property.</li> </ol> </li> <li>3. Whether the internal circulation system of the proposed planned development will be designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic;</li> <li>4. Whether existing or proposed utility and public services will be adequate to support the proposed planned development at normal service levels and will be designed in a manner to avoid adverse impacts on adjacent land uses, public services, and utility resources;</li> </ol> | <p><b>Compliant</b></p> <ol style="list-style-type: none"> <li>1. The proposed development will be accessible from West Temple Street, Albermarle Avenue, and a public alley adjacent to the rear property line. Transportation Division has reviewed the proposal and recommended approval subject to compliance with comments contained within Attachment J – Department Comments.</li> <li>2. See comment above.</li> <li>3. See comment above.</li> <li>4. Public Utilities has reviewed the proposal and recommended approval subject to compliance with comments contained within Attachment J – Department Comments.</li> <li>5. The development will provide a landscape buffer along West Temple Street, which plans feature drought tolerant plants and four new park strip trees. The building itself will also buffer residences and neighbors from unusual noises or disturbances caused by deliveries or trash collection. However, staff recommends that a final lighting plan be reviewed by staff to ensure compliance with city code and urban design objectives.</li> <li>6. Although the intensity, size, and scale of the proposed planned development is larger than adjacent properties, it is compliant with applicable lot and bulk regulations except for the rear yard setback, which requirement may be reduced by the Planning Commission if the planned development petition is approved.</li> </ol> <p>Whereas the development is a permitted use, it is not subject to “conditional building and site design review.”</p> |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
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| <p>5. Whether appropriate buffering or other mitigation measures, such as, but not limited to, landscaping, setbacks, building location, sound attenuation, odor control, will be provided to protect adjacent land uses from excessive light, noise, odor and visual impacts and other unusual disturbances from trash collection, deliveries, and mechanical equipment resulting from the proposed planned development; and</p> <p>6. Whether the intensity, size, and scale of the proposed planned development is compatible with adjacent properties.</p> <p>If a proposed conditional use will result in new construction or substantial remodeling of a commercial or mixed used development, the design of the premises where the use will be located shall conform to the conditional building and site design review standards set forth in chapter 21A.59 of this title.</p> |                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>D. Landscaping:</b> Existing mature vegetation on a given parcel for development shall be maintained. Additional or new landscaping shall be appropriate for the scale of the development, and shall primarily consist of drought tolerant species;</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <p><b>Compliant</b></p>      | <p>Whereas the development satisfies the open space requirement of the R-MU District, through the inclusion of roof top gardens, which consists of 95% drought tolerant species, the landscape plan is appropriate for the scale of the development. However, staff recommends that park strip trees reflect existing patterns and species, and additional plantings adjacent to cast-in-place concrete walls may be warranted (see Attachment C – Landscape Plans).</p> |
| <p><b>E. Preservation:</b> The proposed planned development shall preserve any historical, architectural, and environmental features of the property;</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | <p><b>Not applicable</b></p> | <p>Not applicable. Site is currently vacant.</p>                                                                                                                                                                                                                                                                                                                                                                                                                         |
| <p><b>F. Compliance With Other Applicable Regulations:</b> The proposed planned development shall comply with any other applicable code or ordinance requirement.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | <p><b>Compliant</b></p>      | <p>Other than the specific modifications requested by the applicant, and compliance with recommended conditions of approval, the project appears to comply with all other applicable codes. Further compliance will be ensured during review of construction permits.</p>                                                                                                                                                                                                |

# **ATTACHMENT I: PUBLIC PROCESS & COMMENTS**

## **Community Council**

Applicant attended the Ball Park Community Council meeting on September 4, 2014, during which the proposal was presented to the public and discussed. It was reported to staff that approximately half of attendees favored the project, while half were opposed and cited concerns with excessive building height, excessive development density, and insufficient off-street parking.

On November 4, 2015, Bill Davis, on behalf of the Ballpark Community Council, submitted written comments to the Planning Division and identified three primary concerns: 1) excessive building scale for existing neighborhood, 2) design and use of first floor—which is primarily a parking garage, and 3) impact of noise from Smith’s Ballpark on senior housing residents. Based on the extent of these concerns, the Ball Park Community Council reports that they “cannot support the project as proposed” (see Attachment I – Public Process & Comments).

## **Open House**

The Salt Lake City Planning Division held an “open house” meeting on the first floor of the City & County Building on October 16, 2014. Approximately one dozen people attended the meeting, however only two signed the “attendance” sheet. Of those two attendees, one was in support of the proposal, based on the inclusion of affordable housing, and one was opposed, based on concerns regarding building height, development density, and off-street parking.

## **Public Comment**

Staff has received several phone calls from residents and property owners who are concerned with potential negative impacts if the proposal is approved. Although comments have generally been negative and urge denial of the petition, some respondents have verbally indicated that affordable housing for seniors is a preferable land use because of lower parking demands and trip generations associated with senior housing.

On October 20, 2014, staff has received an e-mail from Thomas Gourdin, on behalf of the Firefighters Credit Union, which is located west from the subject property, who is in “favor of all improvements in the area surrounding the Firefighters Credit Union.”

On October 28, 2014, staff also received an e-mail from Sandra Tanner, who owns a business (Utah Light House Ministry at 1385 West Temple) and single-family home north from the subject property. Mrs. Tanner is opposed to the development proposal citing concerns with traffic, especially use of the narrow public alley that extends northward behind her property to 1300 South, and the possible conversion of Albermarle into a one way street (see Attachment I – Public Process & Comments).

## Ballpark CC response to Ballpark Apartments proposal

B Davis [wld3rd@gmail.com]

**Sent:** Tuesday, November 04, 2014 1:24 PM

**To:** Maloy, Michael

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Mike

Here is the official Ballpark Community Council response to the proposed Ballpark Apartments.

Several board members including Elke, Luz and myself met at the lot in which the Ballpark apartments have been proposed. In addition several other board members visited the site after we issued a preliminary report and provided feedback and votes. In walking about looking at things, measuring setbacks and generally pondering things, we concluded that the Ballpark Community Council cannot support the proposed project as it is presently proposed. In addition the developer has requested that we support the following items:

- 1) reducing the setback on the west side where an alley runs. Current zoning requires 30 feet. They don't indicate what setback they are requesting and it isn't specifically indicated on the site plan but guessing it looks like about 3 feet. This question needs to be answered.
- 2) Waive the restriction on parking on a corner lot.

The participants of the tour had two major objections to to the proposed project and a common sense observation as follows:

A) The side facing West Temple will have a 20 foot setback from the curb and it will rise 6 stories straight up. To put the 20 feet in perspective, if you go a block south to Fletcher Court, which many people feel is out of scale for the neighborhood and looms over the street and gives it a very claustrophobic feel. Fletcher Court is setback a full thirty feet and only rises 4 stories. The retaining wall in front of Fletcher Court is a 22 foot setback so this six story building will be 2 feet in front of where the retaining wall is! This will make Fletcher Court seem welcoming!

To mitigate this we would suggest a step back design for at least the first 3 stories.

B) The second objection we have is that the ground level facing West Temple is going to be a parking garage. Normally high density developments in the city, in an effort to make the projects more neighborhood friendly suggest commercial space on the ground floor facing the main street. Frequently this is even required. This benefits the neighborhood because commercial space are things like restaurants or other small businesses that directly benefit the people living in the surrounding area. We feel this project could accommodate this with a slight reduction in supplied parking. This project slightly exceeds the required parking requirement of .5 parking stalls/bedroom although my understanding is that in transit areas there is no parking requirement. This might sound like an issue of insufficient parking but in reality, senior housing projects don't require as much parking as a normal high density project. This is because for many people that move in, it is the last place they will ever live at. They might move in with a car but at some point they stop driving and get rid of the car. Also bear in mind that this project is about a block from a TRAX station, which is one of the reasons it is being proposed here.

We would suggest reducing the available parking to provide some street level commercial opportunities. This seems like a reasonable proposition to us.

C) The third thing which is not any City ordinance but rather common sense is the following. Smiths Ballpark probably has more fireworks per annum than any other location in the valley. They have at least a dozen major fireworks displays per season. They are very impressive and frequently extend well into the evening. They can't begin until it is dark which during the early summer is approximately 10:00 PM. Later into the season, they are still at about this time because baseball games last until 9:30ish anyway and then there is the time to move people from the general admission area and also the bleacher seating on the third base side of the stadium. If the game goes into extra innings, the fireworks will be even later. I have seen or heard them start as late as midnight. In addition, the fireworks are set off east of the stadium in the grassy area behind left field. The smoke almost always drifts in a west/south west direction or in other words directly towards this proposed development. Having a senior housing development full of elderly residents being subjected to large fireworks displays numerous times over the course of the summer and having them breathe all of the fumes, strikes me from a public health standpoint - as not a good idea!

I'm not sure what you do to mitigate this issue.

So in conclusion and by an overwhelming vote of the Board of the Ballpark Community Council, we feel that we cannot support this project as proposed.

Sincerely  
Bill Davis  
Ballpark Community Council

## Maloy, Michael

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**From:** Thomas Gourdin <thomas@firefighterscu.com>  
**Sent:** Monday, October 20, 2014 10:42 AM  
**To:** Maloy, Michael  
**Subject:** Proposed Apartment Building 1380 S West Temple

Michael,

I was unable to attend the open house concerning the proposed apartment building project at 1380 S West Temple, Salt Lake City. I did come to your office and briefly review the plans for the project.

I'm not sure if it is too late, but I would like to add my approval of the proposed project. Generally, I am in favor of all improvements in the areas surrounding Firefighters Credit Union, located at 124 West 1400 South, Salt Lake City.

I would be interested in other comments made at the open house, if that is possible to share.

Thanks for your time.

Thomas R. Gourdin  
President / CEO  
Firefighters Credit Union  
[thomas@firefighterscu.com](mailto:thomas@firefighterscu.com)  
801-487-3219



## Objection to Ball Park Apartments at 1380 S West Temple, SLC

Sandra Tanner [SandraTanner@comcast.net]

**Sent:** Tuesday, October 28, 2014 2:03 PM

**To:** Maloy, Michael; rusty@summithousinggroup.com

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Dear Mr. Maloy and Mr. Snow,

I want to register my objection to the proposed 62 unit apartment building to be built at 1380 S West Temple. This building is too large for the lot, too high for the area and too close to an already heavily used intersection. The city planning committee needs to actually come down here and look at the small lot, close proximity to the ball park, busy intersection, narrow street and small alleys. A 6 story building that is built property to property line is totally unrealistic. I realize there is a need for low income apartments, but this isn't the location for that.

I met Rusty at the open house Oct. 16th and discussed my concerns with this project. I live at 1350 S West Temple and have a business at 1358 S West Temple, so I am far more familiar with the traffic and congestion in the area than the developers. I believe a 6 story building is way too big for the lot, and the location is too close to a main intersection where any activities at the ball park leaves West Temple and 13th South clogged. At 5:00 the intersection at 13th and W. Temple is very congested.

The whole plan shows a complete lack of understanding of this area. The proposal states that "very little vehicular traffic" is on Albermarle. Obviously someone is thinking of the area 5 years ago, not today. Everything changed when the apartment complex was built a block south of this location. Also, patrons of Lucky 13 Grill on 13th So. clog the ally almost daily, and use Albermarle as an exit onto West Temple so they don't have to go through the intersection at 13th and W. Temple. People coming off the freeway often cut through the ally behind my property and then down Albermarle to exit onto West Temple to avoid the intersection. We have had so many cars using the ally and then speeding down our two driveways that we had to put up chains across the back of the driveways. The plans also propose making Albermarle one way, going West. This is totally opposite of the current use, where almost everyone is going east on Albermarle to exit onto W. Temple.

I note on the Planned Development application that it requests approval for a 6-level apartment building for seniors. But it does not provide adequate off street parking. 36 parking stalls is not sufficient for the size of this building. Rusty didn't think most of these people would have cars. I strongly disagree. I am 73 and still have a car and drive. I assume these people, or their families will have cars. The paperwork for "Planned Development" lists the use for 65+ age group. However, the drawings for the building say it is for 55+ age group. Regardless, the off-street parking is way undersized with parking stalls for only half of the occupants. Where are visitors supposed to park?

How will emergency vehicles service these units? Where is the parking for maintenance work? The side street, Albermarle, is only 14 ft wide, if that. It is not designed for heavy traffic or deliveries. Also, the ally is not designed for traffic, it jogs at least three feet at the junction of Albermarle and makes problems for access. Dumpster access will be a problem on that small alley.

I trust the planning commission will take another look at this proposal and cancel the project. It is simply too large for the lot and neighborhood.

Thank you for reading my letter.

Sincerely,

Sandra Tanner  
1350 So. West Temple  
Salt Lake City, Utah 84115

Daytime office number 801 485 8894

## **ATTACHMENT J: DEPARTMENT COMMENTS**



# Department Comments

## 1380 S WEST TEMPLE ST

### PLNSUB2014-00570

| Date       | Task/Inspection       | Status/Result          | Action By           | Comments                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|------------|-----------------------|------------------------|---------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 9/16/2014  | Police Review         | Complete               | Teerlink, Lt. Scott | Police has no objection to the plan.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| 9/17/2014  | Fire Code Review      | Additional Information | Itchon, Edward      | Fire Code issues: This project has the following issues: 1) Fire department access is a problem since the access roads do not meet the required width (26 ft) and turning radius (45 ft outside & 20 ft inside), 2) Utility lines are obstructing aerial access and need to be removed, and 3) Provide a site plan indicating the distance from building to street (West Temple) and the width of the street.                                                                                                                                    |
| 9/23/2014  | Transportation Review | Complete               | Walsh, Barry        | Transportation review comments per building permit application BLD2014-04272 have not been addressed to date. The plans submitted for this application have not addressed all permit review comments for: 1) parking layout and column buffers, 2) parking calculations per Section 21A.44, 3) vehicle entry staging (blocking public sidewalk) and, 4) garage door height required for ADA access (8'-2"+) etc.<br><br>We have no transportation issue with the 30' rear yard exception or the parking proposed along Albermarle Ave (alley).   |
| 9/24/2014  | Engineering Review    | Complete               | Weiler, Scott       | The plans indicate Albermarle Avenue will be relied on for access to the proposed garage. The poor condition of the existing asphalt there will need to be upgraded as part of this project. Please submit civil design sheets for the work needed around the perimeter of the proposed building, including Albermarle Avenue and West Temple. If the existing 14' alley to the west of the site is to be used for access by the residents who will live in this building, the alley asphalt should be upgraded as part of this project as well. |
| 10/1/2014  | Public Utility Review | Complete               | Stoker, Justin      | We have been heavily involved in the permitting and development of this project and have had our outstanding issues addressed. With regards to the modifications to the R-MU standards, we have no comment.                                                                                                                                                                                                                                                                                                                                      |
| 10/6/2014  | Sustainability Review | Complete               | Maloy, Michael      | No comment received from Sustainability Division.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| 10/15/2014 | Zoning Review         | Complete               | Michelsen, Alan     | A zoning review for this project has been uploaded into the ACCELA documents folder.                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| 10/21/2014 | Urban Design Review   | Additional Information | Robinson, Molly     | Ground floor is not very friendly. Materials could be warmer, particularly on parts of the façade where there are no windows and building is just masking the parking. The materiality is reinforcing the fortress-like appearance of the ground floor.<br><br>Do the handicap spaces have to be located on the property? Can they utilize or section off two spaces on the street instead? The tuck-under is not inviting and the building would have a                                                                                         |

|  |  |  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
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|  |  |  | <p>better presence if it met the ground plane at the corner. The tuck-under prevents the building from meeting the street base and therefore does not hold the corner.</p> <p>Number of materials is a bit excessive. Could this be simplified? Can the ground floor have a single expression with upper floors different? The angled piece at the corner might benefit from a more unified treatment and call attention to the entrance in a more meaningful way.</p> <p>Windows appear to lack lintels or sills, which might contribute more character to the building. (This may be more of an issue with the rendering.)</p> <p>Stairwell (emergency?) could use some treatment or fenestration to complete its look as a transitional element. It seems unfinished and chimney-like.</p> <p>I like the use of balconies and shared outdoor space for residents.</p> |
|--|--|--|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**ZONING REVIEW CORRECTION SHEET**

**Log Number: BLD2014-04272**  
**Project Name: Ball Park Senior Housing**  
**Project Address: 1380 S. West Temple**  
**Contact Person: Bryce Moulton**  
**Telephone: 801-633-8696**  
**E-Mail: [b.moulton@wilsonmoulton.com](mailto:b.moulton@wilsonmoulton.com)**

**Date: July 11, 2014**  
**Zoning District: R-MU**  
**Overlay District:**  
**Reviewer: Alan R. Michelsen**  
**Telephone: 801-535-7142**  
**E-mail: [alan.michelsen@slcgov.com](mailto:alan.michelsen@slcgov.com)**

**COMMENTS**

For a follow-up review please assemble your team and coordinate a single response, in writing, to each of the comments listed below. Upload written responses and revised plans to P-Dox. Do not email PDF drawings to this office. During the review process you will be responsible for ensuring that plans and documents are complete, accurate and correctly uploaded for review. Please call me directly with questions or concerns.

- 1) On sheet C-100 please delete the word alley in reference to Albermarle Avenue. City records indicate Albermarle Avenue is a local street and this project is being reviewed as having frontage on two public streets for the purpose of determining setbacks, the location of surface parking, required landscaping and building façade controls.
- 2) As per section 21A.24.170.E.3.d and section 21A.24.170.E.6 (amended 5/20/14) a 30 feet rear yard building setback is required.
- 3) Pursuant to 21A.24.170.E.8, a portion of the building located at the corner of West Temple and Albermarle Avenue exceeds the maximum 15 setback. Exceptions to the requirement may be authorized through the conditional building and site design review, subject to the requirements of chapter 21A.59.
- 4) As per table 21A.44.060, the surface parking at the corner of the lot abutting West Temple and Albermarle is not permitted and as per 21A.24.170.H, front and corner-side yards (if provided) shall be maintained as landscape yards.
- 5) Provide a comprehensive site plan and calculations to verify compliance with the minimum 20% open space. Open space is defined as:
  - Any area of a lot which is completely free and unobstructed from any structure or parking areas. Landscaping, walkways, uncovered patio areas, light poles and other ornamental features shall not be considered as obstructions for purposes of this definition. Driveways that provide access to parking lots shall not be considered as an obstruction subject to the driveways not exceeding twenty percent (20%) of any required yard area that they provide access through.Open space in the R-MU zone may also take the form of plazas or courtyards. Roof top gardens shall not be considered as meeting the requirement for open space. Appeal of this requirement is to the planning division.
- 6) Please upload a copy of the electrical site plan (sheet E100) for review and show compliance with section 21A.40.160.C for the location of ground mounted utility boxes, or provide documentation for conditional use approval if ground mounted utility boxes are located as per 21A.40.160.D. For information on obtaining conditional use approval please contact our front planning desk at 801-535-7700.
- 7) As per 21A.24.170.J.4, the maximum length of any blank wall uninterrupted by windows, doors, art or architectural detailing at the 1<sup>st</sup> floor levels facing West Temple or Albermarle Avenue is 15 feet.

- 8) Pursuant to 21A.24.170.J.1, document calculations on the elevation plans to show compliance with the minimum 40% glass requirements for the east and north facades facing West Temple and Albermarle Avenue. Exceptions to the requirement may be authorized through the conditional building and site design review, subject to the requirements of chapter 21A.59.
- 9) Include the following additional calculations in your parking requirements:
  - Document maximum parking provided, not to exceed 125% of the minimum required parking as per 21A.44.030.H.2
  - Document required and provided number of bicycles stalls as per 21A.44.050.B.3.
  - Document required and provided number of electric vehicle parking stalls as per 21A.44.050.B.2.
- 10) Show the location of electric vehicle parking stalls on the site plan and provide a detail for an electric vehicle charging station as per 21A.44.050.B.2.
- 11) Provide a bicycle rack detail that meets the bicycle rack design standards as per 21A.44.050.B.5.
- 12) Parking and maneuvering areas shall be designed and dimensioned in compliance with 21A.44.020.
- 13) Off-street loading facilities for new developments shall be provide at the rate specified for a particular use in table 21A.44.080 unless waived by the Zoning Administrator with a recommendation of the Development Review Team.
- 14) Please provide written approval from the SLC Urban Forestry Division approving the removal of city street trees as indicated on the sheet D-100. If it is determined that any of the city trees are to remain provide a signed copy of a tree protection plan approved by the SLC Urban Forestry Division. For information phone SLC Urban Forestry (972-7818).
- 15) For the existing tree located on private property please provide a signed copy of a tree protection/mitigation plan approved by the SLC Urban Forestry Division as per 21A.48.135. For information phone SLC Urban Forestry (972-7818).
- 16) The landscape plan requires the following information additional information:
  - Water efficient irrigation plan.
  - Please make a note on the landscape plans stating: *Tree removal or tree planting in the public way requires approval from SLC Urban Forestry (972-7818).*
- 17) In addition to the landscape submittal requirements set forth in Section 21A.48.030, the applicant shall complete the landscape submittals packet outlined in the Salt Lake City Landscape BMPs for Water Resource Efficiency and Protection. The landscape submittal packet shall be prepared by a licensed *landscaped architect, licensed civil engineer, licensed architect, certified irrigation professional*, or other landscape professional appropriately licensed or recognized by the State of Utah or Salt Lake City. It shall contain the submittal information listed in the Landscape BMPs Manual unless specifically waived in writing by the zoning administrator in consultation with the public utilities department director. <http://www.slcdocs.com/utilities/PDF%20Files/Conservation/SLC%20Landscape%20BMPs-4.pdf>  
Also please note that:
  - Prior to the issuance of any certificate of occupancy for a development subject to this ordinance, an irrigation audit report shall be submitted to the city as provided in Section 21A.48.055.C.3. Additionally, a backflow prevention inspection report by a certified backflow technician shall be submitted to the department of public utilities, and shall include a verification of compliance to approved submittal packet and an initial test report.

- 18) On the site plan show the location of a recycling collections station as per 21A.36.250.D and 21A.36.250.I and provide screening as per 21A.36.250.J.
- 19) Please submit a construction waste management plan as per 21A.36.250.G. Also note that as per 21A.36.250.H— prior to issuance of a certificate of occupancy; the applicant shall submit a copy of the construction waste audit performed by the company (or companies) contracted to remove waste and recyclables. The audit shall include information such as pictures and an itemized list of materials contained in each load, the makeup of the waste stream and the percentage (by weight) of the materials that were recycled, reused or otherwise diverted from the landfill. An application is attached. Please scan and submit the completed application via email to [constructionrecycling@slcgov.com](mailto:constructionrecycling@slcgov.com). For information contact Debbie Lyons at 801-535-7795 or Mitch Davis at 801-535-6984.
- 20) Final plat approval by the planning division is required prior to permit issuance. For information please contact John Anderson at 801-535-7214.
- 21) An impact fee worksheet shall be completed and uploaded to the city required forms folder in p-dox prior to final zoning approval.

NOTE 1: For information on conditional uses, conditional building and site design, planned developments, variances or administrative interpretations please contact or front planning desk at 801-535-7700.

NOTE 2: Please reload you plans in p-dox so that they appear in the same order as they are listed in the drawing index.

## **ATTACHMENT K: MOTIONS**

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## **Recommended Motion:**

Based on the findings listed in the staff report, plans presented, and testimony heard, I motion the Planning Commission approve planned development petition PLNSUB2014-00570 to reduce the rear yard setback from 30'-0" to 0'-0" for an affordable senior housing project comprised of 62 dwelling units at 1380 S West Temple Street subject to the following conditions:

1. Prior to building permit approval, petition shall be amended to satisfy all applicable or unresolved comments contained within Attachment J – Department Comments, which includes compliance with applicable fire protection regulations.
2. Prior to building permit approval, applicant shall submit to the Planning Division revisions to the north and east building elevations to resolve comments provided October 21, 2014, by Molly Robinson, Salt Lake City Urban Designer. To mitigate the harsh, plain qualities of the cast-in-place concrete walls on the first floor, the applicant is encouraged to provide additional landscaping (i.e. crawling ivy) or other treatment (i.e. wall murals) where feasible.
3. Prior to building permit approval, applicant shall submit a final signage plan to the Planning Division. Signage shall meet all applicable Zoning regulations, which includes pedestrian and mass transit orientation.
4. Prior to building permit approval, applicant shall submit to the Planning Division a comprehensive exterior lighting plan, including fixture specifications. To achieve “a more enhanced product” as required by Section 21A.55.010 of City Code, lighting plan shall avoid light glare and light pollution, and design of lighting fixtures must compliment building architecture. Use of low level lighting to accent building architecture and landscaping is encouraged.
5. Final approval authority shall be granted to the Planning Director based on the applicant’s compliance with the above noted standards and conditions.

## **Not Consistent with Staff Recommendation:**

Based on testimony received and the following findings, I move that the Planning Commission deny planned development Petition PLNSUB2014-00570 to reduce the rear yard setback from 30'-0" to 0'-0" for an affordable senior housing project comprised of 62 dwelling units at 1380 S West Temple Street.

The Planning Commission shall make findings on the planned development standards as listed below:

- A. Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section;
- B. Master Plan and Zoning Ordinance Compliance: The proposed planned development shall be:
  1. Consistent with any adopted policy set forth in the citywide, community, and/or small area master plan and future land use map applicable to the site where the planned development will be located, and
  2. Allowed by the zone where the planned development will be located or by another applicable provision of this title.
- C. Compatibility: The proposed planned development shall be compatible with the character of the site, adjacent properties, and existing development within the vicinity of the site where the use will be located. In determining compatibility, the planning commission shall consider:
  1. Whether the street or other means of access to the site provide the necessary ingress/egress without materially degrading the service level on such street/access or any adjacent street/access;
  2. Whether the planned development and its location will create unusual pedestrian or vehicle traffic patterns or volumes that would not be expected, based on:
    - a. Orientation of driveways and whether they direct traffic to major or local streets, and, if directed to local streets, the impact on the safety, purpose, and character of these streets;
    - b. Parking area locations and size, and whether parking plans are likely to encourage street side parking for the planned development which will adversely impact the reasonable use of adjacent property;
    - c. Hours of peak traffic to the proposed planned development and whether such traffic will unreasonably impair the use and enjoyment of adjacent property.

3. Whether the internal circulation system of the proposed planned development will be designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic;
  4. Whether existing or proposed utility and public services will be adequate to support the proposed planned development at normal service levels and will be designed in a manner to avoid adverse impacts on adjacent land uses, public services, and utility resources;
  5. Whether appropriate buffering or other mitigation measures, such as, but not limited to, landscaping, setbacks, building location, sound attenuation, odor control, will be provided to protect adjacent land uses from excessive light, noise, odor and visual impacts and other unusual disturbances from trash collection, deliveries, and mechanical equipment resulting from the proposed planned development; and
  6. Whether the intensity, size, and scale of the proposed planned development is compatible with adjacent properties. If a proposed conditional use will result in new construction or substantial remodeling of a commercial or mixed used development, the design of the premises where the use will be located shall conform to the conditional building and site design review standards set forth in chapter 21A.59 of this title.
- D. Landscaping: Existing mature vegetation on a given parcel for development shall be maintained. Additional or new landscaping shall be appropriate for the scale of the development, and shall primarily consist of E. Preservation: The proposed planned development shall preserve any historical, architectural, and environmental features of the property;
- F. Compliance with other Applicable Regulations: The proposed planned development shall comply with any other applicable code or ordinance requirement.